

09/12/2023

MDJ INC

OWNER:
ROB JOHNSON

ARCHITECT & ENGINEER :

MDJ INC
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TEL: 978 685 3691

LAND SURVEYOR :

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JOHNSON'S

RESIDENCE

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CODE REVIEW

The contractor and subcontractor must perform the works conforming to the MSBC 9th Edition (IRC 2015 and 780 CMR 51 Massachusetts amendments) including, but not limited to the following standards:

R303.3 Bathrooms. Mechanical ventilation in accordance with section M1507 is required for all bathrooms with a shower or bathtub and rooms with a toilet.

MINIMUM ROOM AREAS

R304.1 Minimum area. Habitable rooms shall have a floor area of not less than 70 square feet.

Exception: Kitchens.

R304.2 Minimum dimensions. Habitable rooms shall be not less than 7 feet in any horizontal dimension.

Exception: Kitchens.

R304.3 Height effect on room area. Portions of a room with a sloping ceiling measuring less than 5 feet or a furred ceiling measuring less than 7 feet from the finished floor to the finished ceiling shall not be considered as contributing to the minimum required habitable area for that room.

R305.1 Minimum Height. Habitable space and hallways shall have a ceiling height of not less than seven feet. Bathrooms, toilet rooms, laundry rooms and habitable space in basements shall have a ceiling height of not less than six feet, eight inches.

Exceptions:

- For rooms with sloped ceilings, the required floor area of the room shall have a ceiling height of not less than 5 feet and not less than 50 percent of the required floor area shall have a ceiling height of not less than 7 feet.
 - The ceiling height above bathroom and toilet room fixtures shall be such that the fixture is capable of being used for its intended purpose. A shower or tub equipped with a showerhead shall have a ceiling height of not less than 6 feet 8 inches above an area of not less than 30 inches by 30 inches at the showerhead.
 - Beams, girders, ducts or other obstructions in *basements* containing *habitable space* shall be permitted to project to within 6 feet 4 inches of the finished floor
- R310.1 Emergency escape and rescue opening required. *Basements, habitable attics* and every sleeping room shall have not less than one operable emergency escape and rescue opening.

R310.2.1 Minimum Opening Area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 ft2. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches and the net clear width shall be not less than 20 inches.

EXCEPTIONS:

- Single-hung and/or double hung windows shall have a minimum net clear opening of 3.3 ft2. In such cases, the minimum net clear opening dimensions shall be 20 inches by 24

inches in either direction.

R310.2.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches above the floor; where the sill height is below *grade*, it shall be provided with a window well in accordance with Section R310.2.3.

R310.2.5 Replacement windows. Replacement windows installed in buildings meeting the scope of this code shall be exempt from the maximum sill height requirements of Sections R310.1 and Sections R310.2.1 and R310.2.2, provided the replacement window meets the following conditions:

- The replacement window is the manufacturer's largest standard size window that will fit within the existing frame or existing rough opening. The replacement window is of the same operating style as the existing window or a style that provides for an equal or greater window opening area than the existing window.
- The replacement window is not part of a change of occupancy.

R311.6 Hallways. The width of a hallway shall be not less than 3 feet.

R311.7.1 Width. Stairways shall be not less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 41/2 inches on either side of the stairway and the clear width of the stairway at and below the handrail height, including treads and landings, shall be not less than 311/2 inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides.
Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.2 Headroom. The headroom in stairways shall be not less than 6 feet 8 inches measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

R311.7.3 Vertical rise. A flight of stairs shall not have a vertical rise larger than 147 inches between floor levels or landings.

R311.7.5.1 Risers. The riser height shall be not more than 8¼ inches. The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch. Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30° from the vertical. Open risers are permitted provided that the openings located more than 30 inches, as measured vertically, to the floor or grade below do not permit the passage of a four-inch-diameter sphere.

EXCEPTIONS: NA

R311.7.5.2 Treads. The tread depth shall be not less than nine inches. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch.

R311.7.5.2.1 Winder Treads. Winder treads shall have a minimum tread depth equal to the tread depth of the straight run portion of the stairs measured as above at a point 12 inches from the side where the treads are narrower. Winder treads shall have a minimum tread depth

of three inches at any point. Within any flight of stairs, the greatest winder tread depth at the 12-inch walk line shall not exceed the smallest by more than 3/8 inch.

STRUCTURAL:

AJ501.4 Structural. The minimum design loads for the structure shall be the loads applicable at the time the building was constructed, provided that a dangerous condition is not created. Structural elements that are uncovered during the course of the alteration and that are found to be unsound or dangerous shall be made to comply with the applicable requirements of 780 CMR 51.00: Massachusetts Residential Code. Where alterations may decrease the structural performance of the existing building, such proposed activities shall be evaluated by a registered design professional for adequacy, prior to such actual structural alterations.

R502.8 Cutting, drilling and notching. Structural floor members shall not be cut, bored or notched in excess of the limitations specified in this section. See Figure R502.8.

R502.8.1 Sawn lumber. Notches in solid lumber joists, rafters and beams shall not exceed one-sixth of the depth of the member, shall not be longer than one-third of the depth of the member and shall not be located in the middle

one-third of the span. Notches at the ends of the member shall not exceed one-fourth the depth of the member. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at the ends of the members. The diameter of holes bored or cut into members shall not exceed one-third the depth of the member. Holes shall not be closer than 2 inches to the top or bottom of the member, or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch.

R502.9 Fastening. Floor framing shall be nailed in accordance with Table R602.3 (1). Where posts and beam or girder construction is used to support floor framing, positive connections shall be provided to ensure against uplift and lateral displacement.

R502.10 Framing of openings. Openings in floor framing shall be framed with a header and trimmer joists. Where the header joist span does not exceed 4 feet, the header joist shall be a single member the same size as the floor joist. Single trimmer joists shall be used to carry a single header joist that is located within 3 feet of the trimmer joist bearing. Where the header joist span exceeds 4 feet, the trimmer joists and the header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header.
R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 11/2 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch by 4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers. The bearing on masonry or concrete shall be direct, or a sill plate of 2-inch-minimum nominal thickness shall be provided under the joist, beam or girder. The sill plate shall provide a minimum nominal bearing area of 48 square inches.

R502.6.1 Floor systems. Joists framing from opposite sides over a bearing support shall lap not less than 3 inches and shall be nailed together with a minimum three 10d face nails. A wood or metal splice with strength equal to or greater than that provided by the nailed lap is permitted.

Fire Protection:

R314.1.1 Listings. Smoke alarms shall be the photoelectric type listed in accordance with UL 217 or UL 268. Combination smoke and carbon monoxide alarms shall be listed in accordance

with UL 217 and UL 2034.

R314.3 Location. Smoke alarms shall be installed in the following locations:

- In each sleeping room.
- Outside each separate sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- Smoke alarms shall be installed not less than three feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by section R314.3.
- For each 1,000 ft2 of area or part thereof.
- Near all stairs.

R314.5 Combination Alarms. Combination smoke and carbon monoxide ("CO") alarms shall be permitted to be used in lieu of smoke alarms and shall be interconnected such that fire alarm signals have precedence over CO alarms in accordance with the requirements of NFPA 720.

R315.1 General. Carbon monoxide alarms shall comply with section R315, 248 CMR, NFPA 720, and the manufacturer's instructions. Any required carbon monoxide detection shall be interconnected.

R315.1.1 Listings. Carbon monoxide alarms shall be listed in accordance with UL 2034 and UL 2075. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL2034 and UL 217.

R315.3 Location. Carbon monoxide alarms in dwelling units shall be outside of each separate sleeping area within ten feet of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. At least one alarm shall be installed on each story of a dwelling unit, including basements and cellars but not in crawl spaces and uninhabitable attics.

R315.4 Combination Alarms. Combination carbon monoxide and smoke alarms (in compliance with section 314) shall be permitted to be used in lieu of carbon monoxide alarms, located as in R315.3, provided they are compatible and the smoke alarms take precedence.

R315.5 Power Source. Carbon monoxide alarms and combination alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source \ and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for over current protection. Alarms may also be part of a low voltage or wireless system with standby power from monitored batteries in accordance with NFPA 72.

AJ401.2.1 Emergency Escape and Rescue Windows. For one- and two-family dwellings and townhouses of no more than three stories in height, all emergency escape windows from sleeping rooms shall have a net clear opening of 3.3 ft2. The minimum net clear opening shall be 20 inches by 24 inches in either direction except that windows in sleeping rooms of existing dwellings which do not conform to these requirements may be replaced without conforming to these dimensional requirements, provided that the windows do not significantly reduce the existing opening size.

BASE SPECIFICATIONS

MDJ INC. Engineers, Architects & Associates

MARCOS A DEVERS, P.E
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978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN	<i>NOTES</i>
ROBB JOHNSON	MDJ INC.	MDJ INC.	1. N/A 2. N/A 3. N/A
PROJECT	APPROVED	ISSUED FOR	REV. NO. DATE
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023	A. N/A
LOCATION	SIGNED	ISSUED DATE	B. N/A
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023	

REV. NO.	DATE
A.	N/A
B.	N/A

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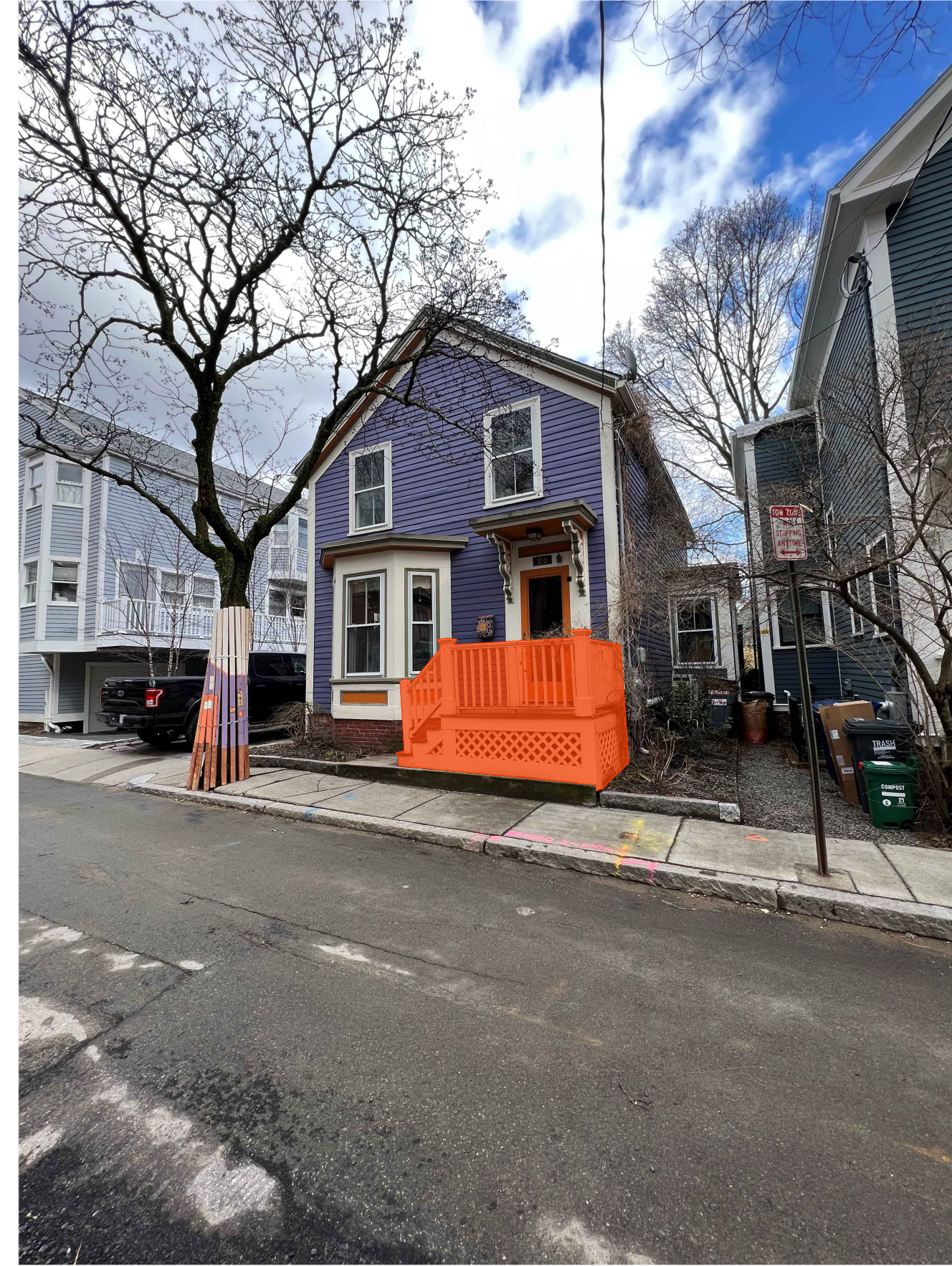
NOTES
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.

PROJECT DESCRIPTION

THE HOME IS LOCATED AT 20 FAIRMONT AVE. IT WAS BUILT IN 1886 AND IS LOCATED IN THE CITY OF CAMBRIDGE. THE SCOPE OF THE PROJECT CONSIST IN DEMOLISH AND REBUILT AN ORIGINAL PORTION OF THE HOUSE, A NEW STORY WILL BE ADDED, DEMOLISH AND REBUILT AN EXISTING PORTION OF THE HOUSE, AND REPLACE IT WITH A NEW TWO STORY ADDITION.. THE FOLLOWING WILL BE COMPLETELY REMOVED AND REPLACED :

1. FRAMING .
2. PLUMBING SUPPLY.
3. ELECTRICAL AND MECHANICAL DISTRIBUTION SYSTEMS AND EQUIPMENT
4. EXTERIOR SIDING
5. ROOFING
6. WINDOWS AND DOORS

THE ORIGINAL STRUCTURE IS LIKELY BALLOON FRAMING (TO BE VERIFIED) AND IF NEEDED WILL BE REINFORCED WITH NEW WOOD FRAMING SUPPORT MEMBERS TO STIFFEN THE STRUCTURE AND RESTORE THE FLOORS AND WALLS. THE NEW PORTION REMODELING, WILL INCLUDE A NEW THE FRONT ENTRANCE ORIENTATION, A NEW CABINET KITCHEN RELOCATED, HALF BATHROOM TO BE CONVERTED INTO A FULL BATHROOM AND EXISTING BEDROOM TO BE EXTENDED WITH A FOUR SEASON PORCH.



1 PERSPECTIVE - RIVER STREET
REMOVE AND REBUILT



2 PERSPECTIVE - REAR
REMOVE AND REBUILT



3 PERSPECTIVE - REAR
REMOVE AND REBUILT

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ROBB JOHNSON

PROJECT

JOHNSON'S RESIDENCE

LOCATION

20 FAIRMOUNT AVE,
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VERIFIED

MDJ INC.

APPROVED

MDJ INC.

SIGNED

MARCOS DEVERS

DRAWN

MDJ INC.

ISSUED FOR

08.25.2023

ISSUED DATE

09.12.2023

NOTES

1. N/A
2. N/A
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REV. NO. DATE

A. N/A

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A004

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PROJECT DESCRIPTION

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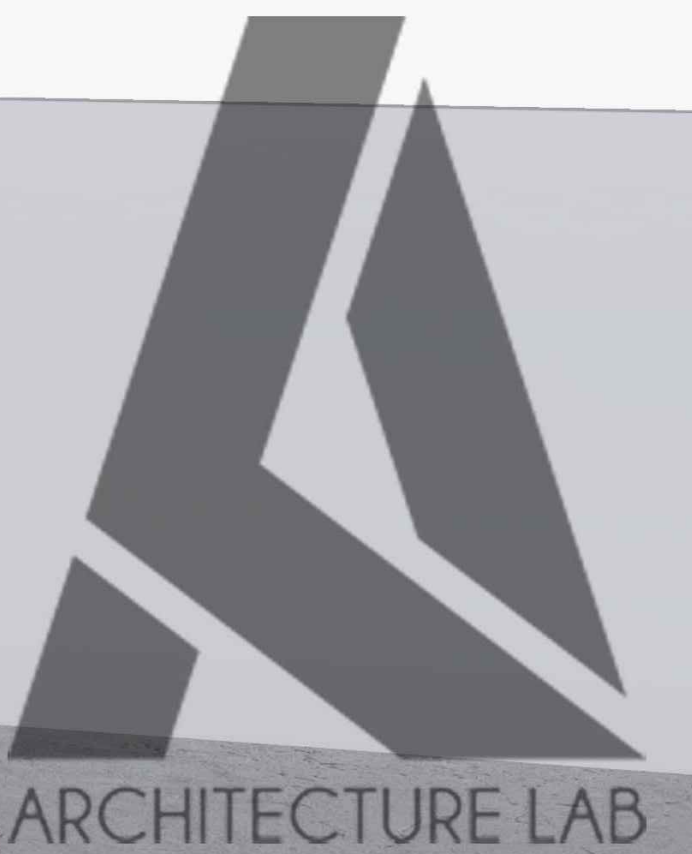
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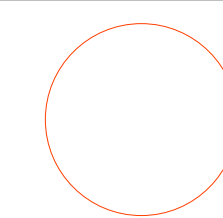
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PROPOSED CONDITIONS
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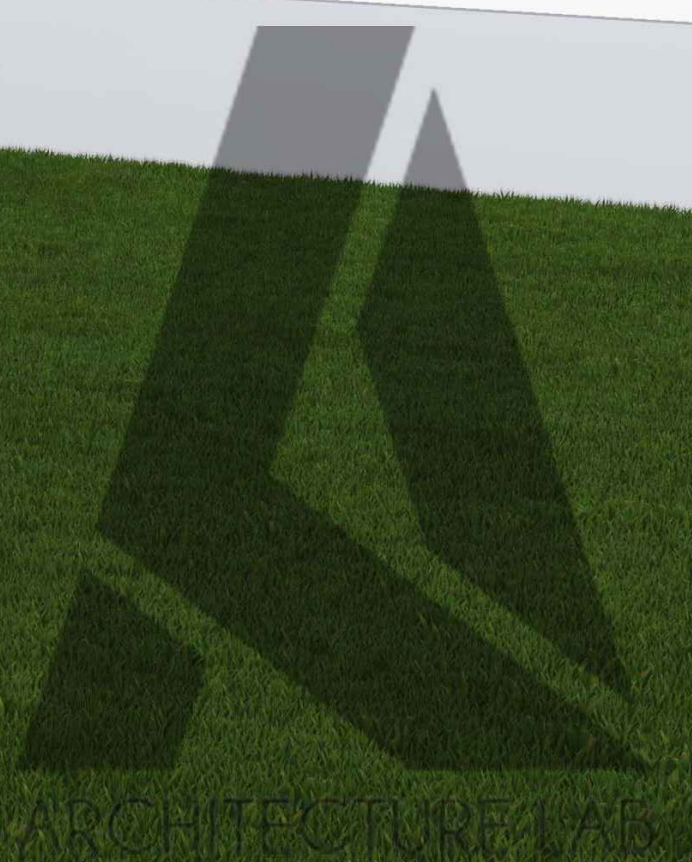
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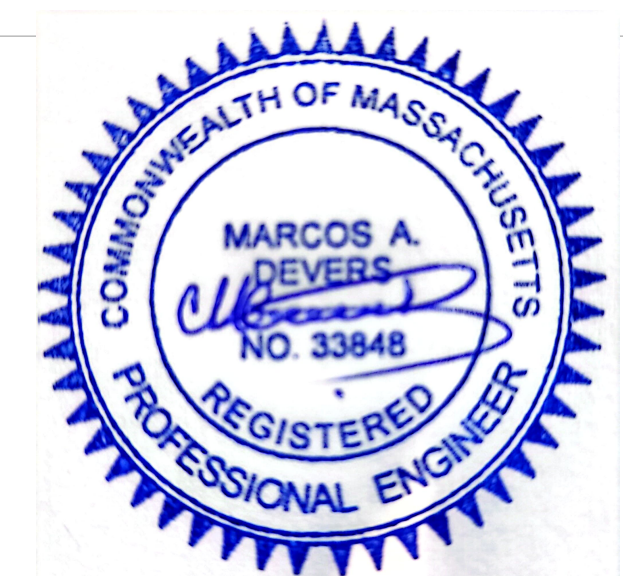
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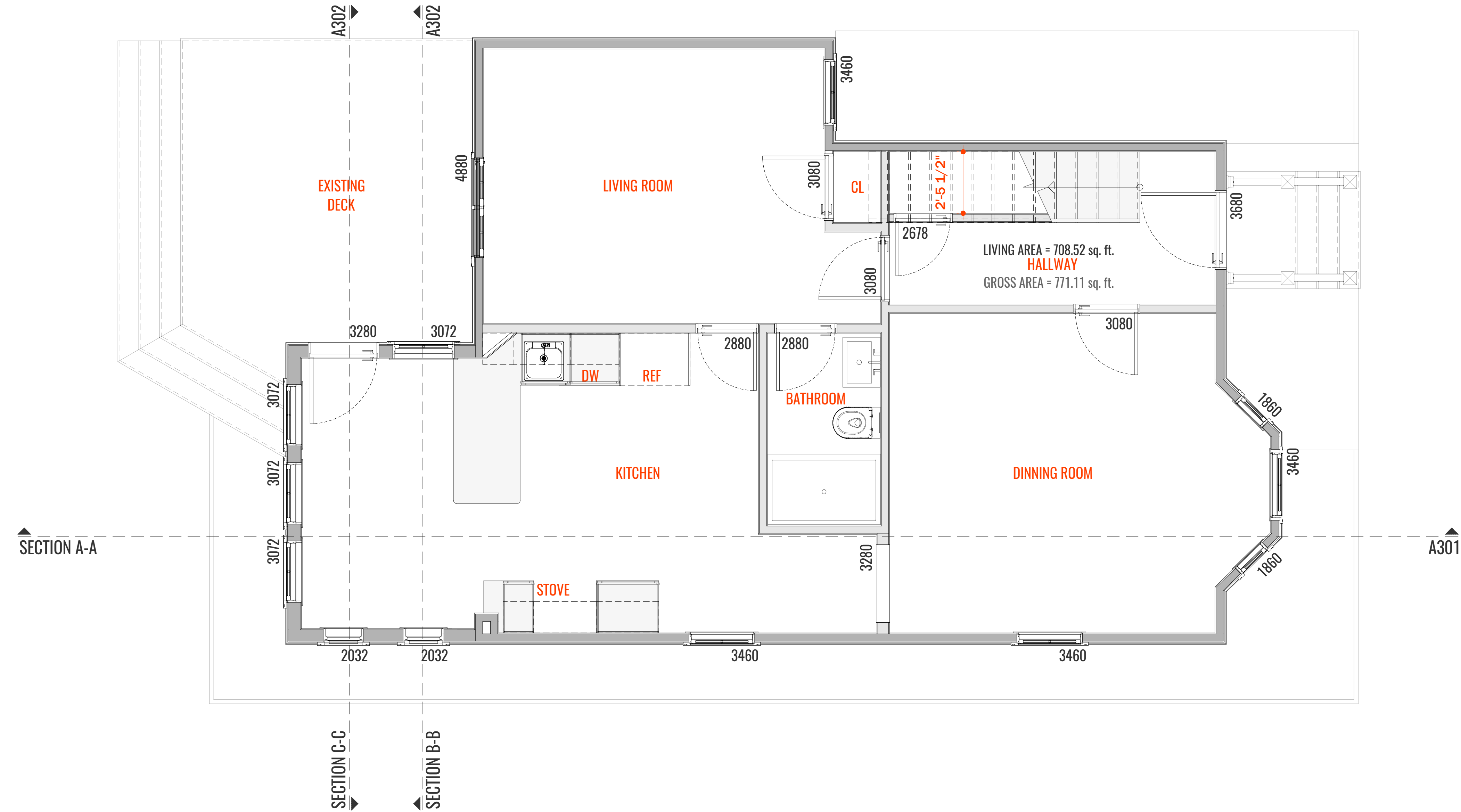
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 PROPOSED CONDITIONS
 FIRST FLOOR PLAN

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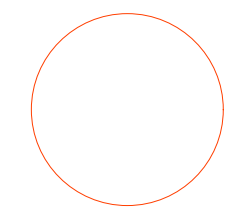
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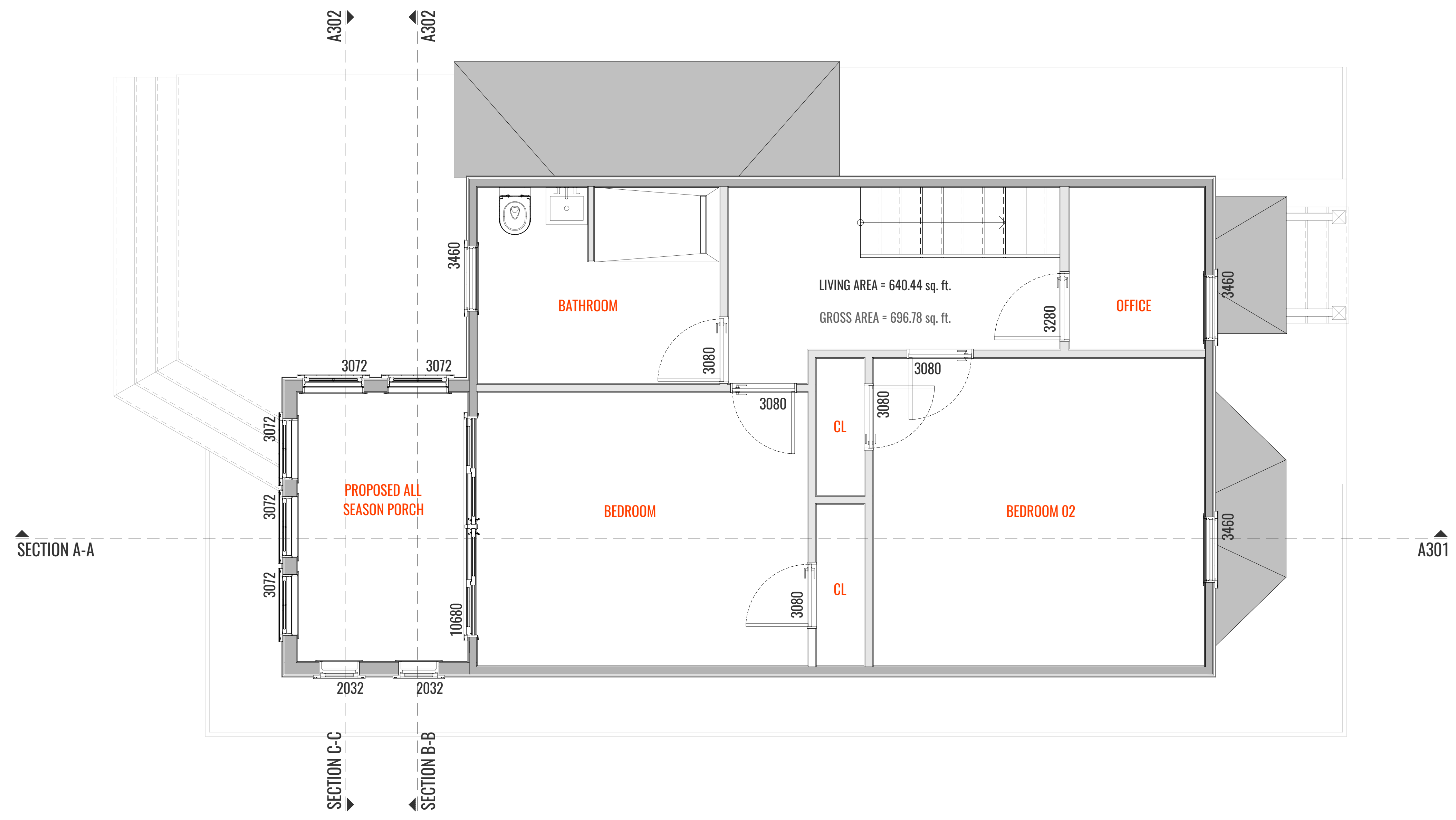
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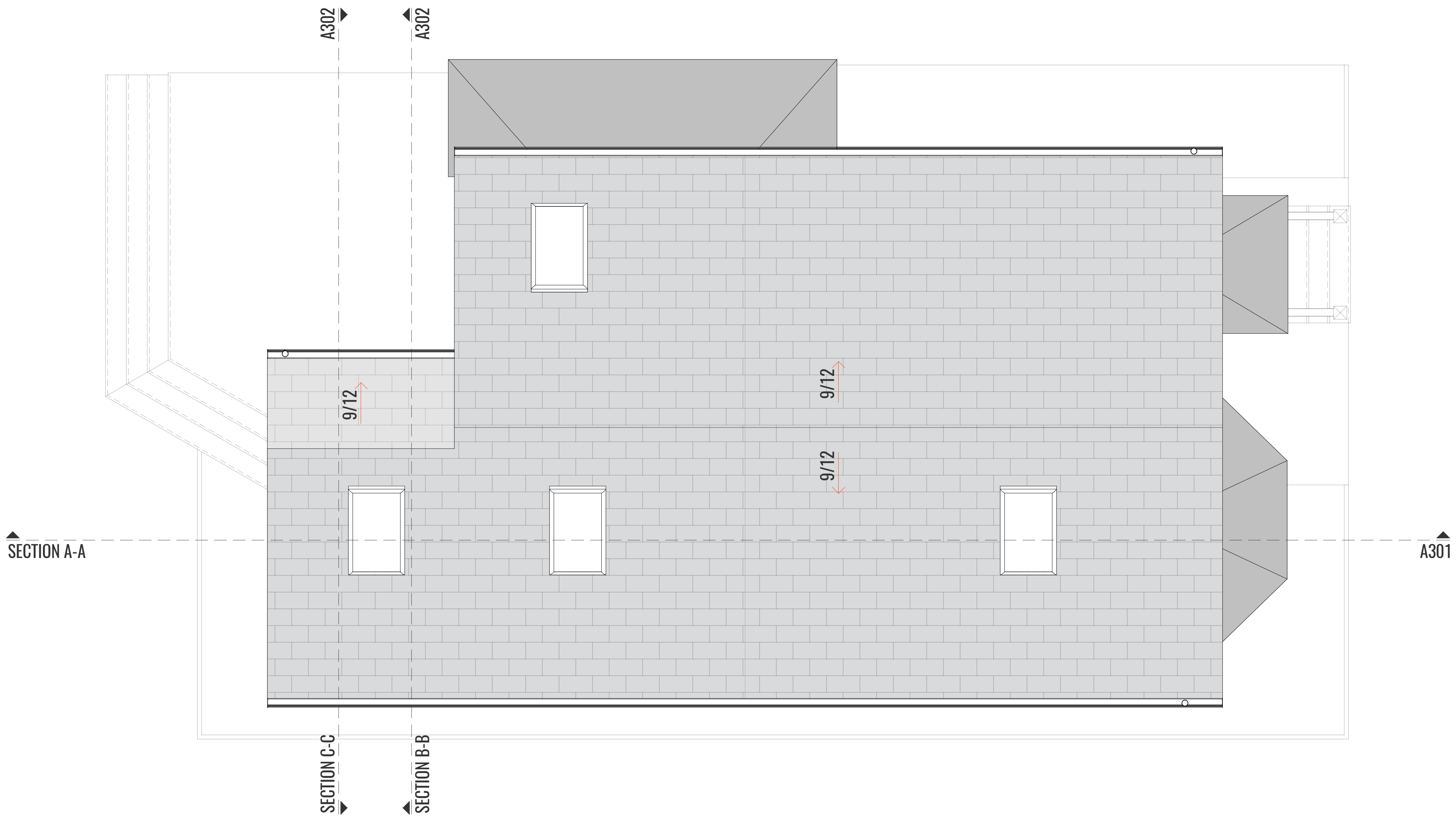
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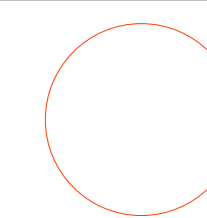
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PROPOSED CONDITIONS
 THIRD FLOOR PLAN

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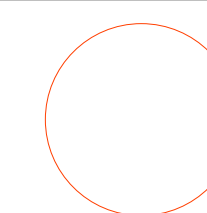
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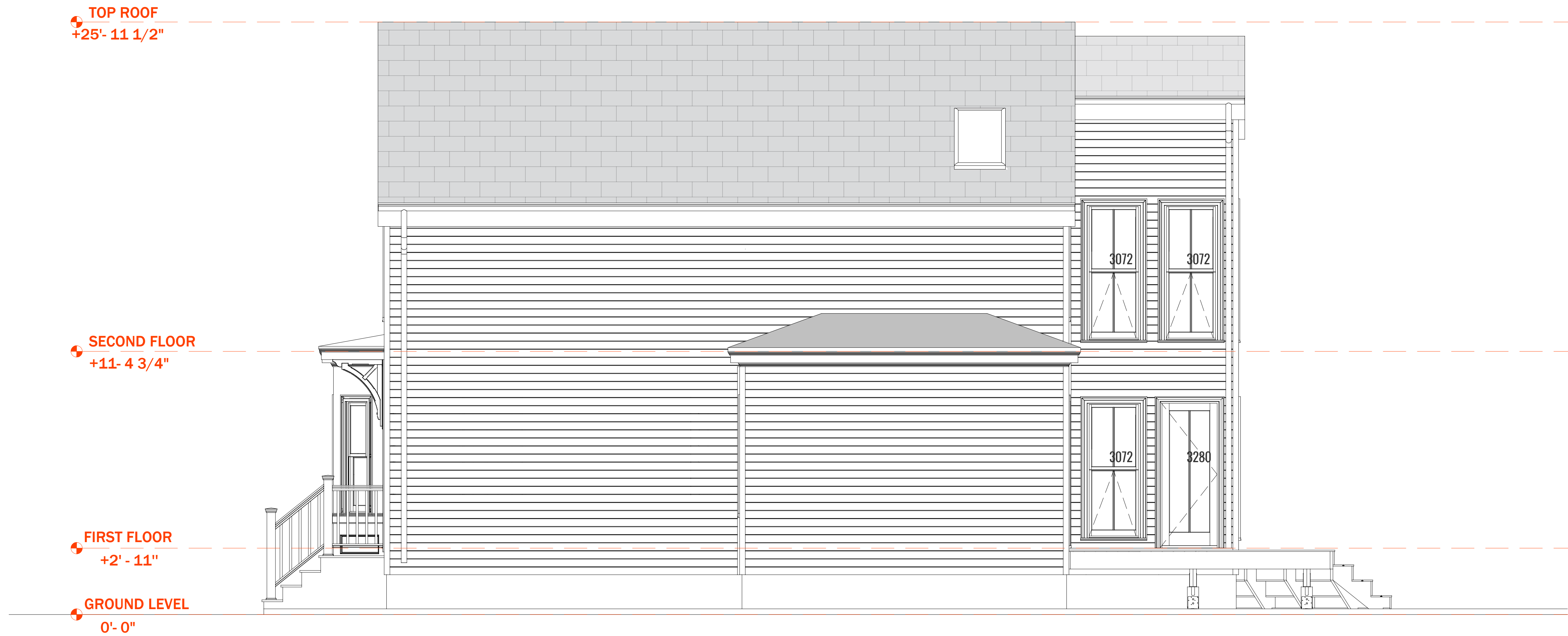
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NOTES

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1.	N/A
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 RIGHT SIDE ELEVATION



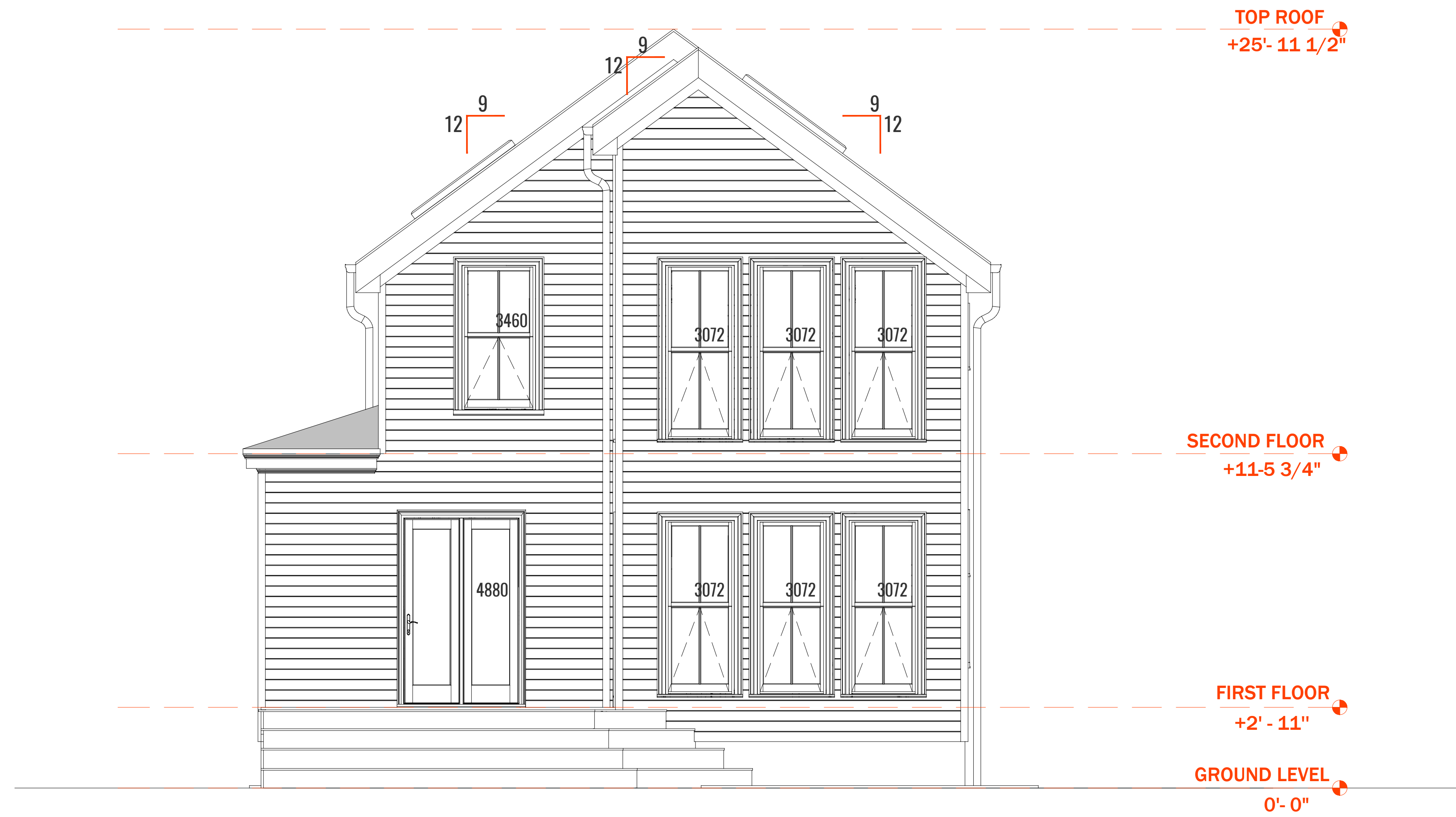
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NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E
 16 WOODLAND ST. LAWRENCE, MA 010841
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER
 ROBB JOHNSON

PROJECT
 JOHNSON'S RESIDENCE

LOCATION
 20 FAIRMOUNT AVE,
 CAMBRIDGE, MA 02131

VERIFIED
 MDJ INC.

APPROVED
 MDJ INC.

SIGNED
 MARCOS DEVERS

DRAWN
 MDJ INC.

ISSUED FOR
 08.25.2023

ISSUED DATE
 09.12.2023

NOTES

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

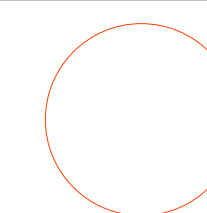
DRAWN NO.
A203

DRAWN TITLE
 PROPOSED CONDITIONS
 REAR ELEVATION

STAMP



NORTH



SCALE

3/8" = 1'-0"

PAGE

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SCALE 0' 2' 4' 6' 8' 10'

NOTES

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MDJ INC.

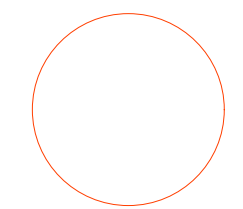
Engineers, Architects & Associates

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 16 WOODLAND ST. LAWRENCE, MA 010841
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN	<i>NOTES</i>	
ROBB JOHNSON	MDJ INC.	MDJ INC.	1. N/A	
PROJECT	APPROVED	ISSUED FOR	2. N/A	
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023	3. N/A	
LOCATION	SIGNED	ISSUED DATE	REV. NO.	DATE
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023	A.	N/A
			B.	N/A

DRAWN NO. **A204**
 DRAWN TITLE
 PROPOSED CONDITIONS
 LEFT SIDE ELEVATION



NORTH 
 SCALE
3/8" = 1'-0"

PAGE
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TOP ROOF
+25'- 11 1/2"

SECOND FLOOR
+11'-5 3/4"

FIRST FLOOR
+2'- 11"

GROUND LEVEL
0'- 0"



0' 2' 4' 6' 8' 10'
SCALE

MDJ INC.
Engineers, Architects & Associates

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APPLICANT/OWNER

ROBB JOHNSON

PROJECT

JOHNSON'S RESIDENCE

LOCATION

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MARCOS DEVERS

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ISSUED FOR

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ISSUED DATE

09.12.2023

NOTES

1. N/A
2. N/A
3. N/A

REV. NO. DATE

A. N/A

B. N/A

DRAWN NO.

A301

DRAWN TITLE

PROPOSED CONDITIONS
SECTION A-A

STAMP



NORTH



SCALE

3/8" = 1'-0"

PAGE

16
26

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20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023	A.	N/A
			B.	N/A

DRAWN NO. **A302**
 STAMP
 DRAWN TITLE
 PROPOSED CONDITIONS
 SECTION B-B

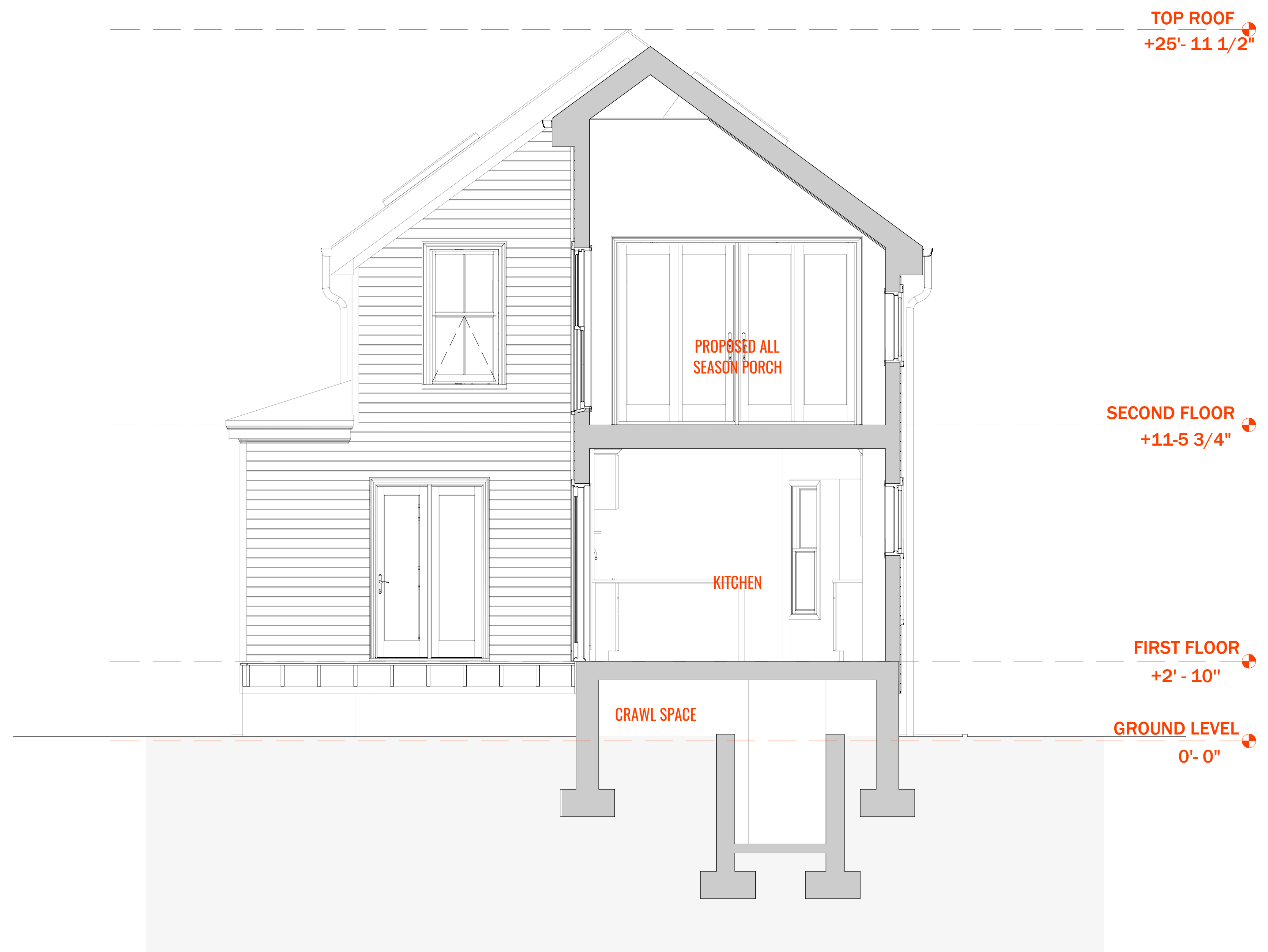


NORTH

 SCALE
3/8" = 1'-0"

PAGE
17 / 26

NOTES
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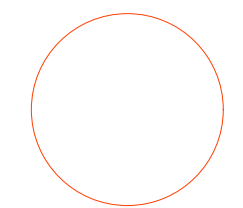
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DRAWN TITLE
 PROPOSED CONDITIONS
 SECTION C-C



NORTH



SCALE
3/8" = 1'-0"



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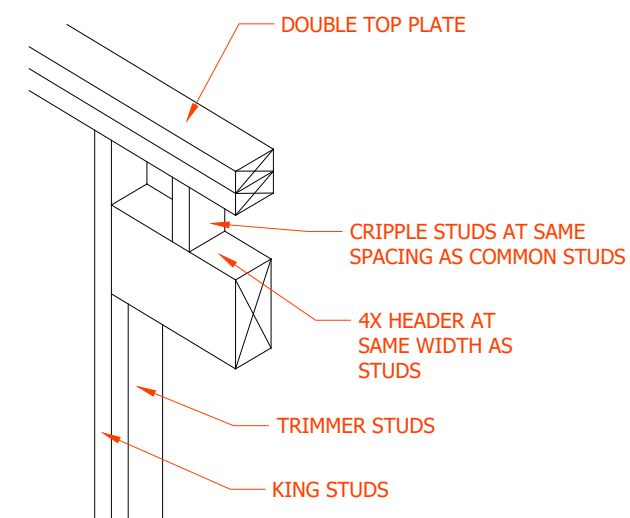
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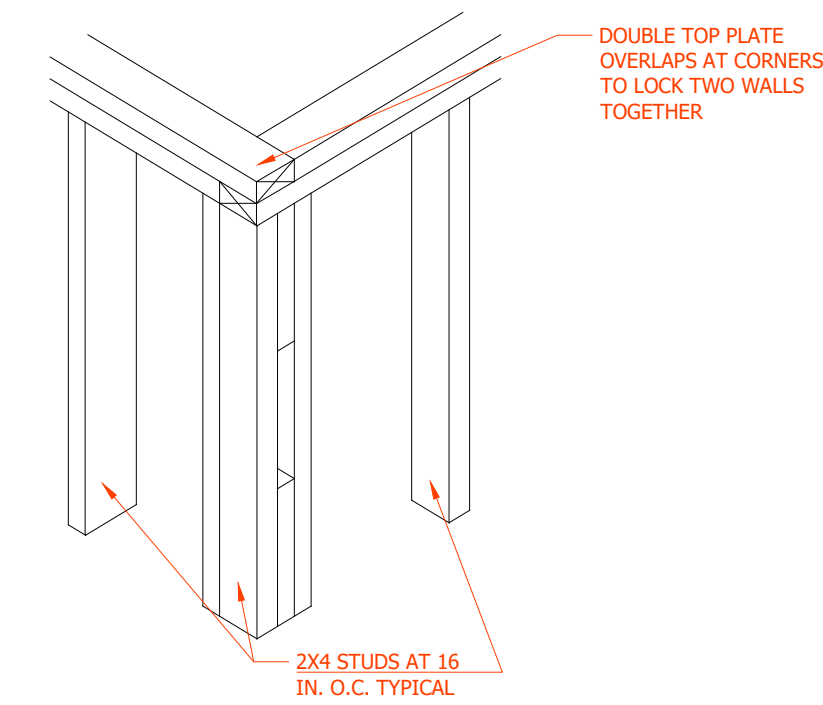
INTERIOR CONSTRUCTION

WOOD-FRAME GYPSUM BOARD PARTITIONS

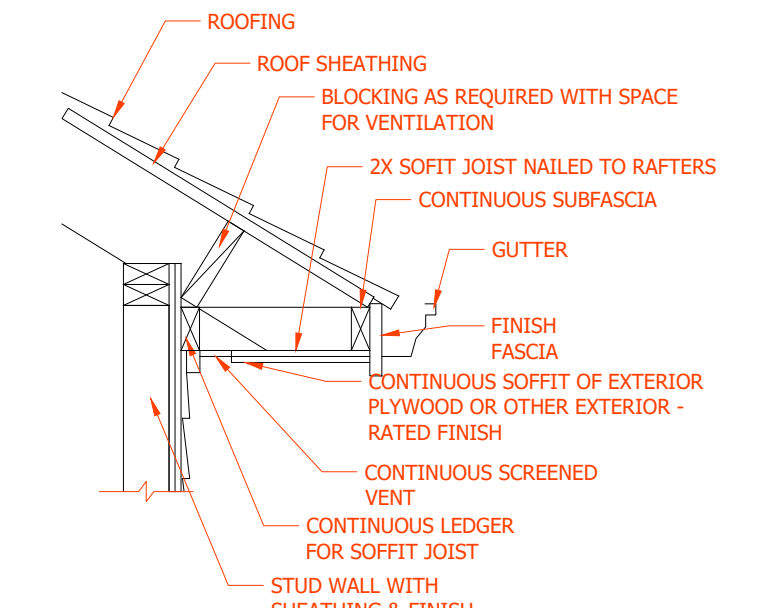
FIRE-RESISTANCE RATING	SOUND TRANSMISSION WALL CLASS (STC)	THICKNESS IN.	CONSTRUCTION DESCRIPTION	PLAN VIEW
One-hour	30-34	4-7/8	One layer, 1/2-in. Type X veneer base nailed to each side of 2" x 4" in. wood studs, 16 in. o.c. with 5d coated nails 8 in. o.c.; minimum 3/32-in. gypsum veneer plaster. Joints staggered vertically 16 in., and horizontal joints each side at 12 in.	
		6-7/8	One layer, 1/2-in. Type X veneer base nailed to each side of 2" x 6" in. wood studs, 16 in. o.c. with 5d coated nails 8 in. o.c.; minimum 3/32-in. gypsum veneer plaster. Joints staggered vertically 16 in., and horizontal joints each side at 12 in.	



4X HEADER

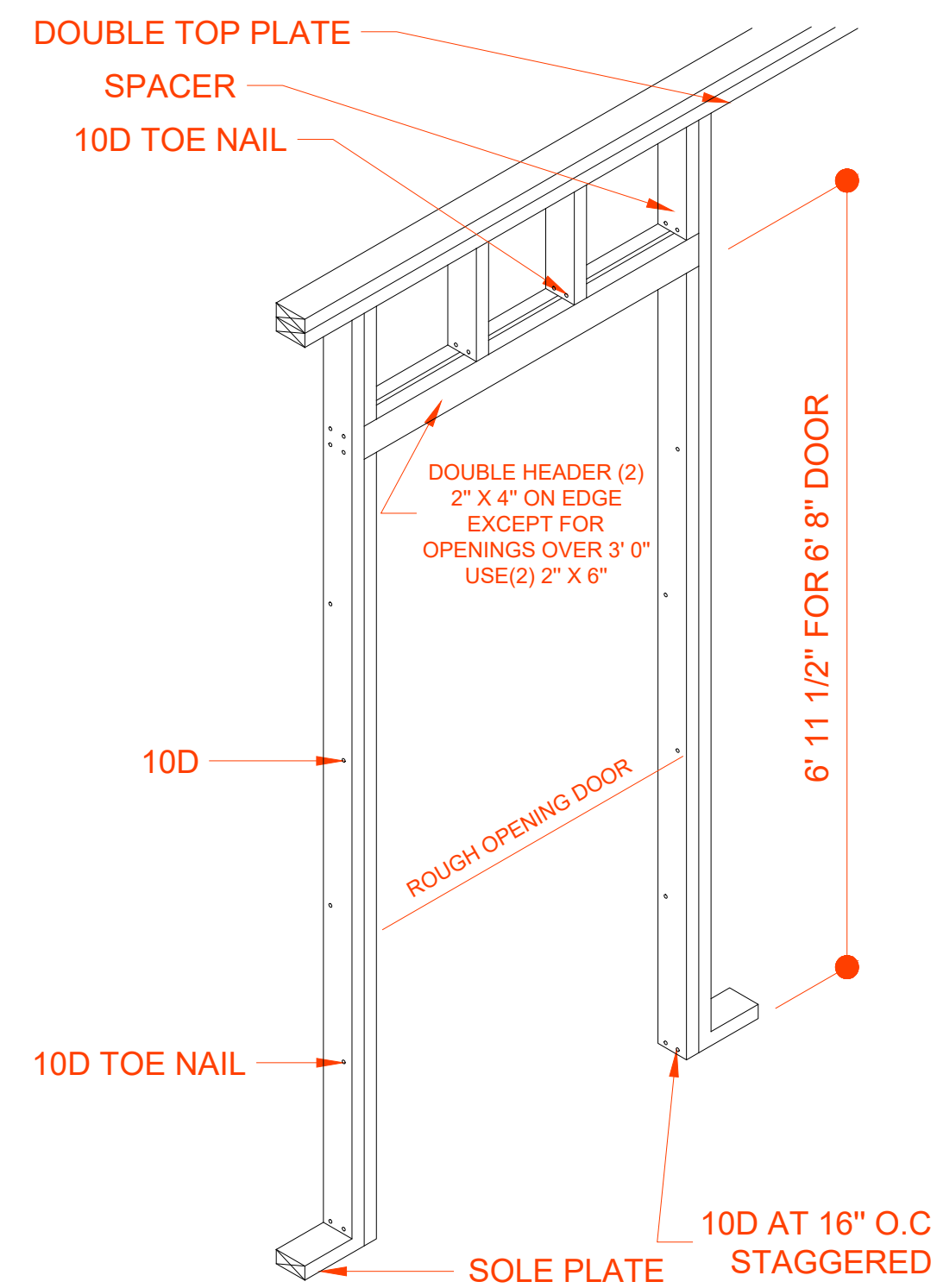


2X4 CORNER
At Doble top Plate

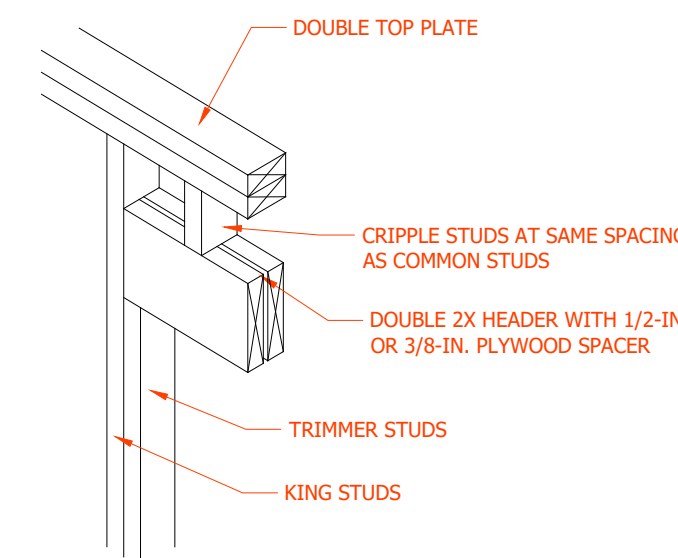
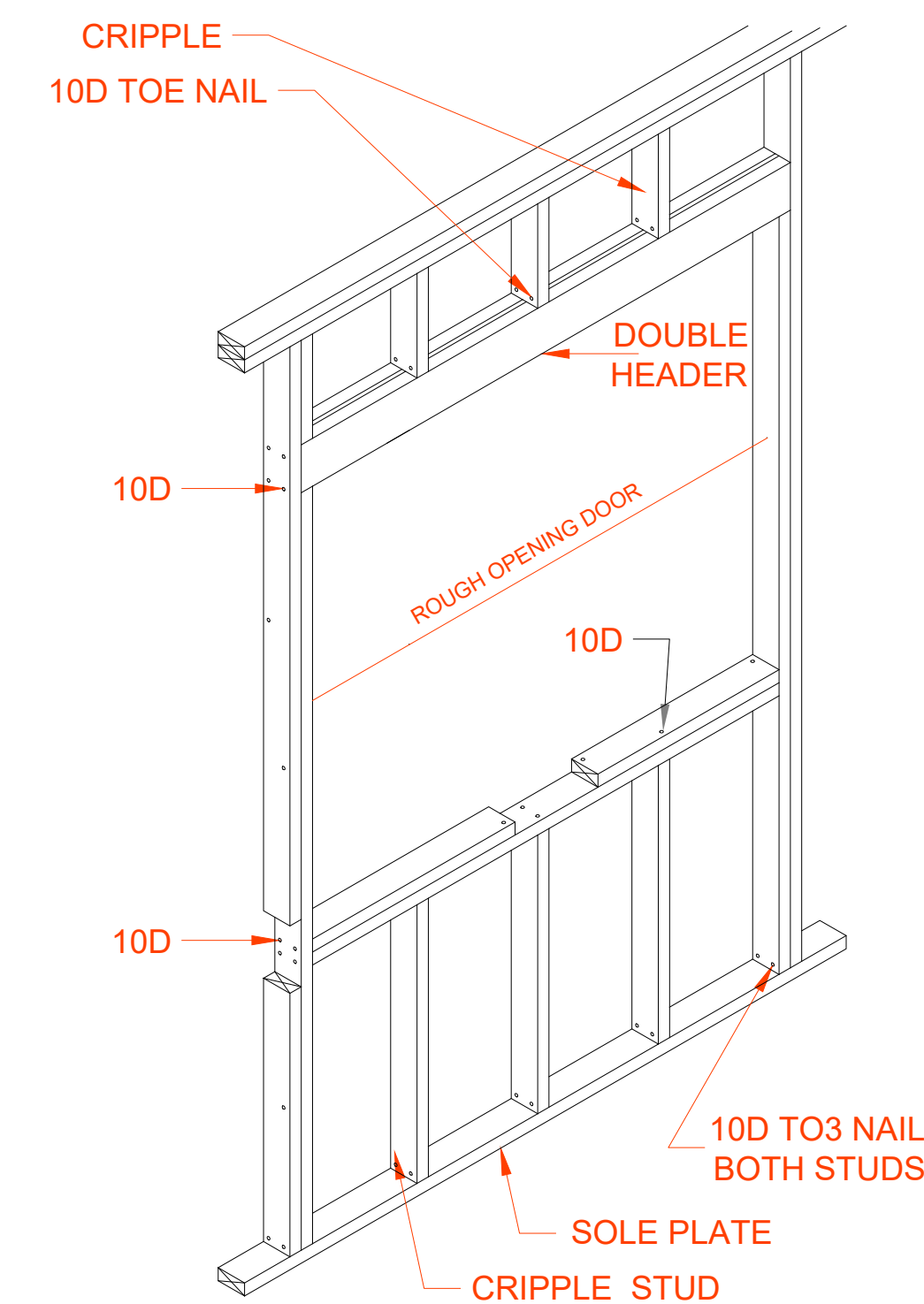


SOFFITED EAVE

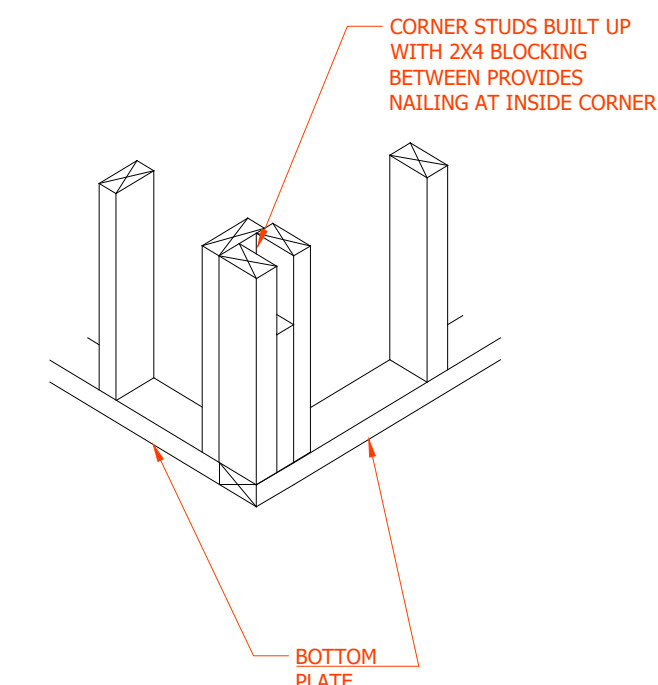
DOOR OPENING



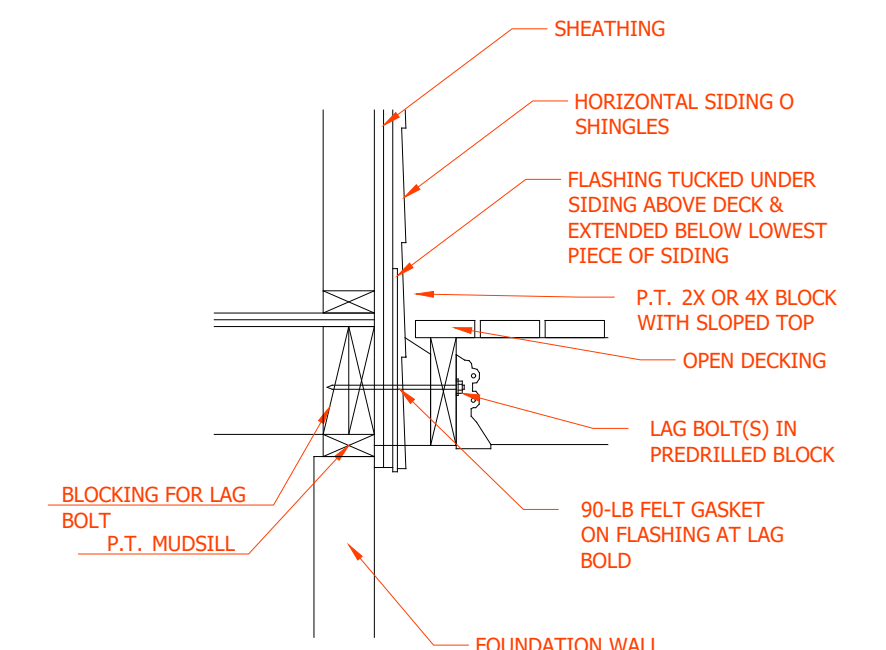
WINDOW OPENING



TYPICAL DOUBLE 2X HEADER
2X4 Bearing Wall

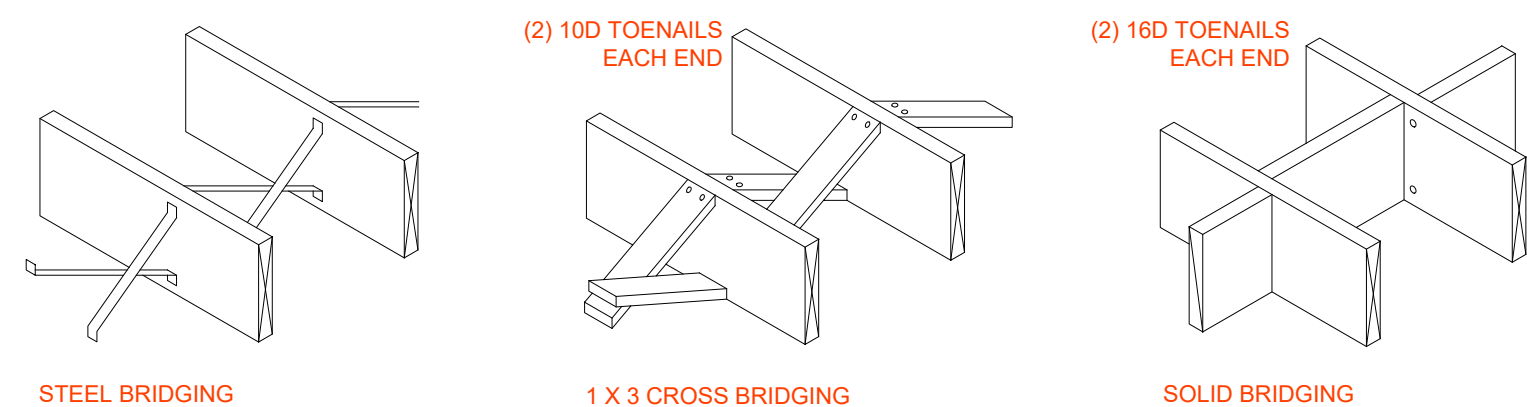


2X4 CORNER
At Bottom Plate

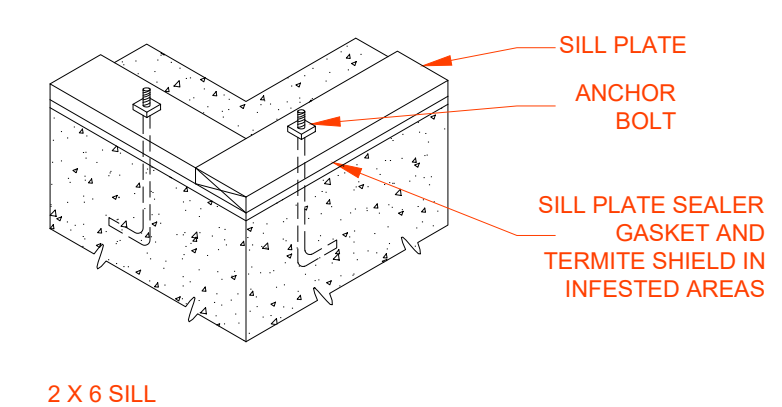


OPEN DECK/WOOD WALL
1st Floor. Horizontal Siding or Shingles

BRIDGING

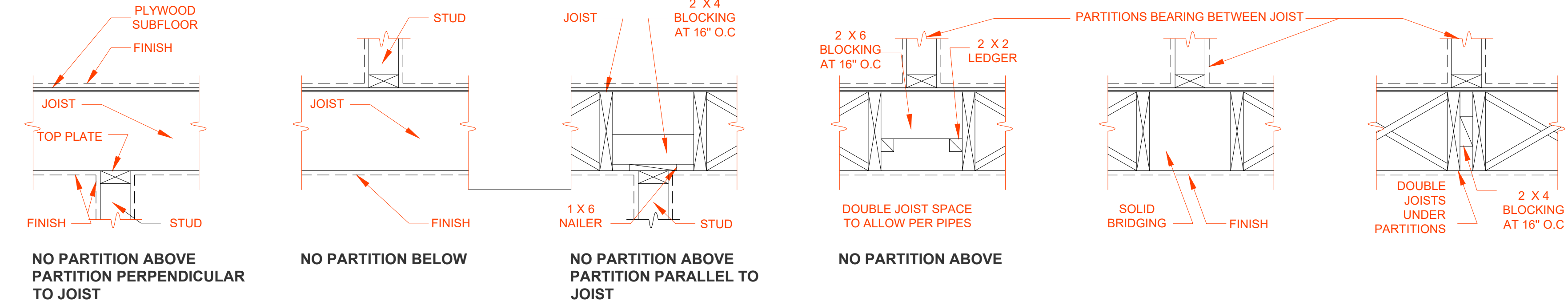


SILL FOR PLATFORM FRAMING



SHELL SUPERSTRUCTURE

FLOOR DETAILS AT NONBEARING INTERIOR PARTITIONS



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ROBB JOHNSON

PROJECT

JOHNSON'S RESIDENCE

LOCATION

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VERIFIED

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APPROVED

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SIGNED

MARCOS DEVERS

DRAWN

MDJ INC.

ISSUED FOR

08.25.2023

ISSUED DATE

09.12.2023

NOTES

- N/A
- N/A
- N/A

REV. NO. DATE

A. N/A

B. N/A

DRAWN NO.

A401

DRAWN TITLE

FRAMING DETAILS

STAMP



NORTH



SCALE

NOT SCALE

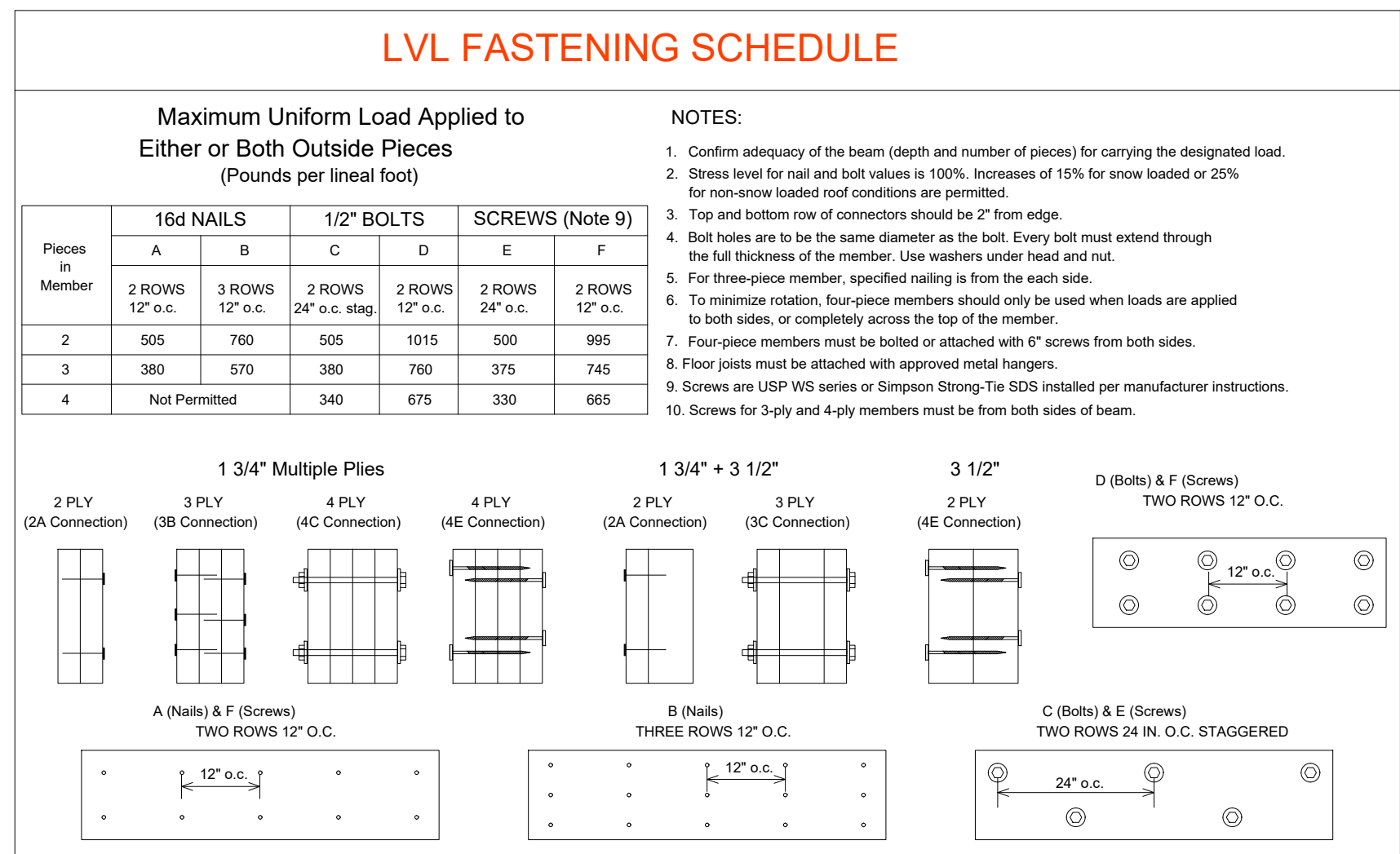
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NOTES

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RECOMMENDED FASTENING SCHEDULE		
Building element	Nail size and type	Number and location
Stud to sole plate	8d common 16d common	4 toe-nail or 2 direct-nail
Stud to cap plate	16d common	2 toe-nail or 2 direct-nail
Double studs	10d common	12" o.c. direct
Corner studs	16d common	24" o.c. direct
Sole plate to joist or blocking	16d common	16" o.c.
Double cap plate	10d common	16" o.c. direct
Cap plate laps	10d common	2 direct-nail
Ribbon strip, 6" or less	10d common	2 each direct bearing
Ribbon strip, 6" or more	10d common	3 each direct bearing
Roof rafter to plate	8d common	3 toe-nail
Roof rafter to ridge	16d common	2 toe-nail or direct nail
Jack rafter to hip	10d common 16d common	3 toe-nail or 2 direct-nail
Floor joists to studs (No ceiling joists)	10d common 10d common	5 direct or 3 direct
Floor joists to studs (With ceiling joists)	10d common	2 direct
Floor joists to sill or girder	3d common	3 toe-nail
Ledger strip	16d common	3 each direct
Ceiling joists to plate	16d common	3 toe-nail
Ceiling joists (laps over partition)	10d common	3 direct-nail
Ceiling joists (parallel to rafter)	10d common	3 direct
Collar beam	10d common	3 direct
Bridging to joists	8d common	2 each direct end
Diagonal brace (to stud & plate)	8d common	2 each direct bearing
Tail beams to headers (When nailing permitted)	20d common	1 each end 4 sq. ft. floor area
Header beams to trimmers	20d common	1 each end 8 sq. ft. floor area
1" roof decking (over 6" in width)	8d common 8d common	2 ea. direct rafter 3 each direct rafter
1" subflooring (6" or less)	8d common	2 each direct joist
1" subflooring (8" or more)	8d common	3 each direct joist
2" subflooring	16d common	2 each direct joist
1" wall sheathing (8" or less in width)	8d common	2 each direct stud
1" wall sheathing (over 8" in width)	8d common	3 each direct stud
Plywood roof & wall sheathing (1/2" or less) (3/4" or greater) (5/16", 1/2", or 3/4") (1")	6d common 8d common 16 gauge galvanized wire staples, 1" minimum crown; length of 1" plus plywood thickness Same as immediately above	6" o.c. direct edges & 12" o.c. intermediate 6" o.c. direct edges & 12" o.c. intermediate 4" o.c. edges & 8" o.c. intermediate 2 1/2" o.c. edges & 5" o.c. intermediate
Plywood subflooring: (1/2") (3/4") (1", 1 1/2") (1/2") (1")	6d common or 6d annular or spiral thread 8d common or 8d annular or spiral thread 10d common or 8d ring shank or 8d annular or spiral thread 16d galvanized wire staples 1" minimum crown, 1" length	6" o.c. direct edges & 10" o.c. intermediate 6" o.c. direct edges & 10" o.c. intermediate 6" o.c. direct edges & 6" o.c. intermediate 4" o.c. edges & 7" o.c. intermediate 2 1/2" o.c. edge 4" o.c. intermediate
Built-up girders and beams	20d common	32" o.c. direct
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct
1/2" fiber board sheathing	1 1/2" galvanized roofing nail or 16 gauge staple, 1 1/2" long with min. crown of 7/16"	3" o.c. exterior edge 6" o.c. intermediate
25/32" fiber board sheathing	1 3/4" galvanized roofing nail or 8d common nail or 16 gauge staple, 1 1/2" long with min. crown of 7/16"	3" o.c. exterior edge 6" o.c. intermediate
Gypsum sheathing	1 2 gauge 1 3/4" large head corrosion-resistant	4" o.c. on edge 8" o.c. intermediate
Particle board underlayment (1/2"-3/4")	6d annular threaded	6" o.c. direct edges 10" o.c. intermediate
Particle board roof and wall sheathing 1/2" or less 3/4" or greater	6d common 8d common	6" o.c. direct edges 12" o.c. intermediate 6" o.c. direct edges 12" o.c. intermediate
Particle board subflooring (3/4" or greater)	8d common	6" o.c. direct edges 12" o.c. intermediate
Shingles, wood	No. 14 B&S Gage corrosion resistive	2 each bearing
Weather boarding	8d corrosion	2 each bearing



DOOR SCHEDULE

MARK	QTY	NOMINAL SIZE			CONFIGURATION	
		WIDTH	HEIGHT	THICKNESS		
F.F. FIRST FLOOR						
D-	3680	1	3' - 0"	6' - 6"	1 3/4" RH SWIM DOOR - EXTERIOR	EXISTING
D-	3280	1	2' - 8"	6' - 6"	1 3/4" RH SWIM DOOR - INTERIOR	PROPOSED
D-	3080	1	2' - 6"	6' - 6"	1 3/4" RH SWIM DOOR - INTERIOR	EXISTING
D-	3080	1	2' - 6"	6' - 6"	1 3/4" LH SWIM DOOR - INTERIOR	EXISTING
D-	4880	1	6' - 4"	6' - 6"	1 3/4" SLIDE DOOR - EXTERIOR	EXISTING
D-	2880	1	2' - 4"	6' - 6"	1 3/4" LH SWIM DOOR - INTERIOR	EXISTING
D-	2880	1	2' - 4"	6' - 6"	1 3/4" RH SWIM DOOR - INTERIOR	EXISTING
F.F. SECOND FLOOR						
D-	3080	4	2' - 6"	6' - 6"	1 3/4" LH SWIM DOOR - INTERIOR	EXISTING
D-	3280	1	2' - 8"	6' - 6"	1 3/4" RH SWIM DOOR - INTERIOR	EXISTING
D-	10680	1	8' - 10"	6' - 6"	1 3/4" DOUBLE SWIM DOOR - INTERIOR	PROPOSED

WINDOWS SCHEDULE

MARK	QTY	NOMINAL SIZE			CONFIGURATION	
		WIDTH	HEIGHT	THICKNESS		
F.F. BASEMENT						
W-	3618	2	3' - 0"	1' - 6"	N/A SINGLE HUNG	EXISTING
F.F. FIRST FLOOR						
W-	1860	2	1' - 6"	5' - 0"	N/A DOUBLE HUNG	EXISTING
W-	3460	4	2' - 10"	5' - 0"	N/A DOUBLE HUNG	EXISTING
W-	3272	4	2' - 8"	6' - 0"	N/A DOUBLE HUNG	PROPOSED
W-	2032	2	1' - 8"	2' - 8"	N/A SINGLE HUNG	PROPOSED
F.F. SECOND FLOOR						
W-	3460	3	2' - 10"	5' - 0"	N/A DOUBLE HUNG	EXISTING
W-	3272	3	2' - 8"	6' - 0"	N/A DOUBLE HUNG	PROPOSED
W-	2032	2	1' - 8"	2' - 8"	N/A DOUBLE HUNG	PROPOSED

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PROJECT	APPROVED	ISSUED FOR
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023
LOCATION	SIGNED	ISSUED DATE
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023

NOTES	
1. N/A	
2. N/A	
3. N/A	
REV. NO.	DATE
A.	N/A
B.	N/A

DRAWN NO.	STAMP
A402	
DRAWN TITLE	
DOOR, WINDOWS AND FASTENING SCHEDULE	



NORTH

SCALE

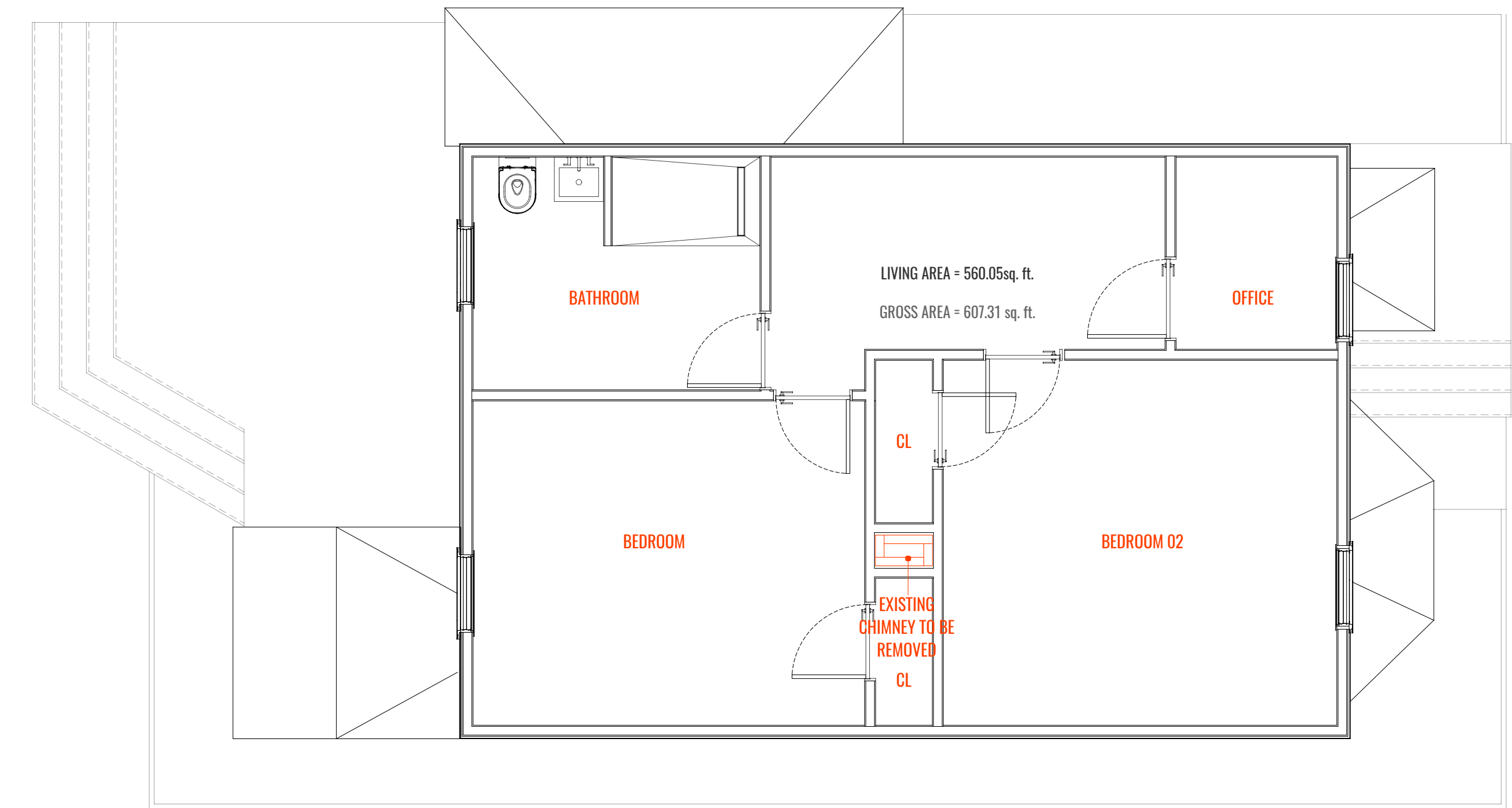
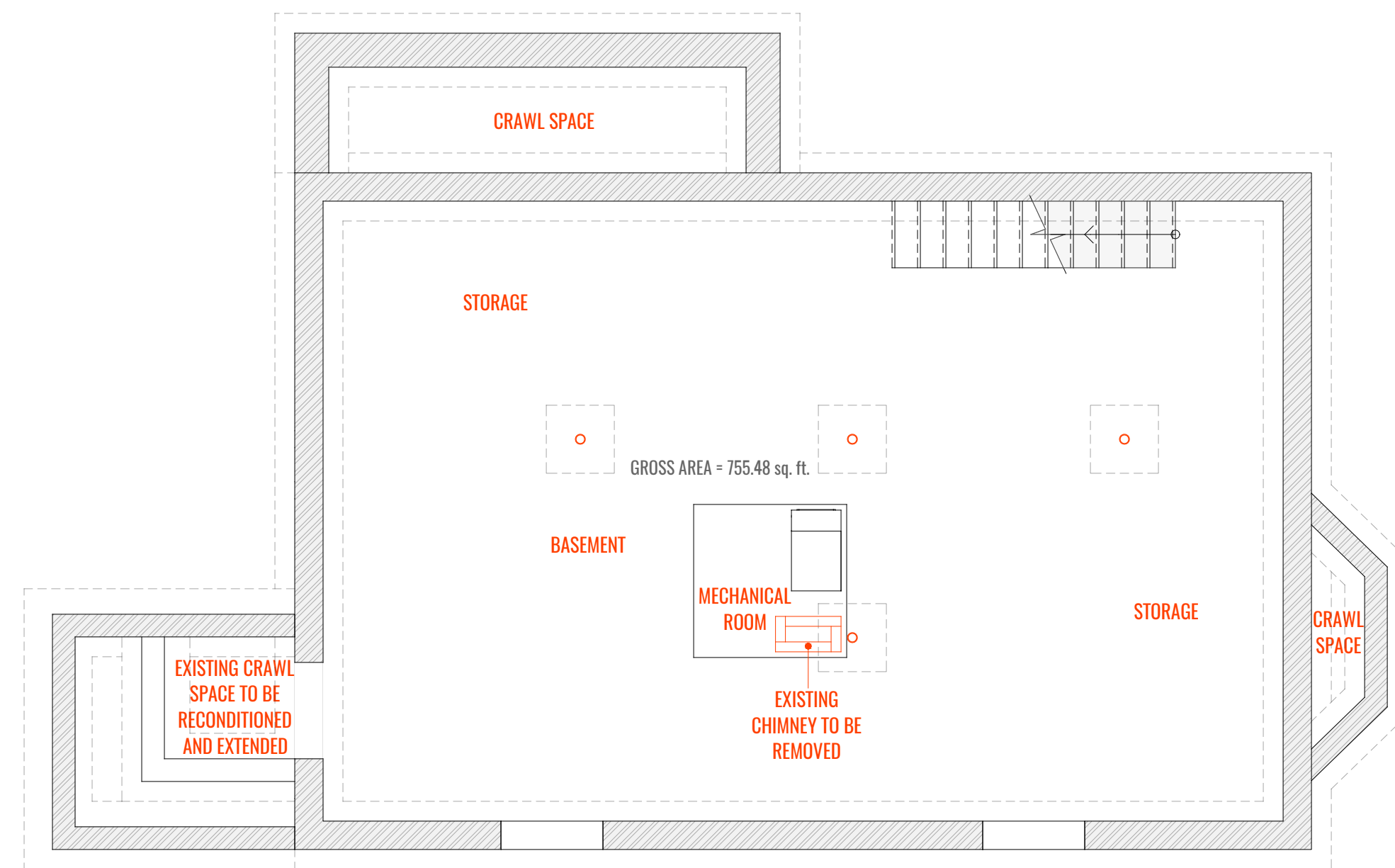
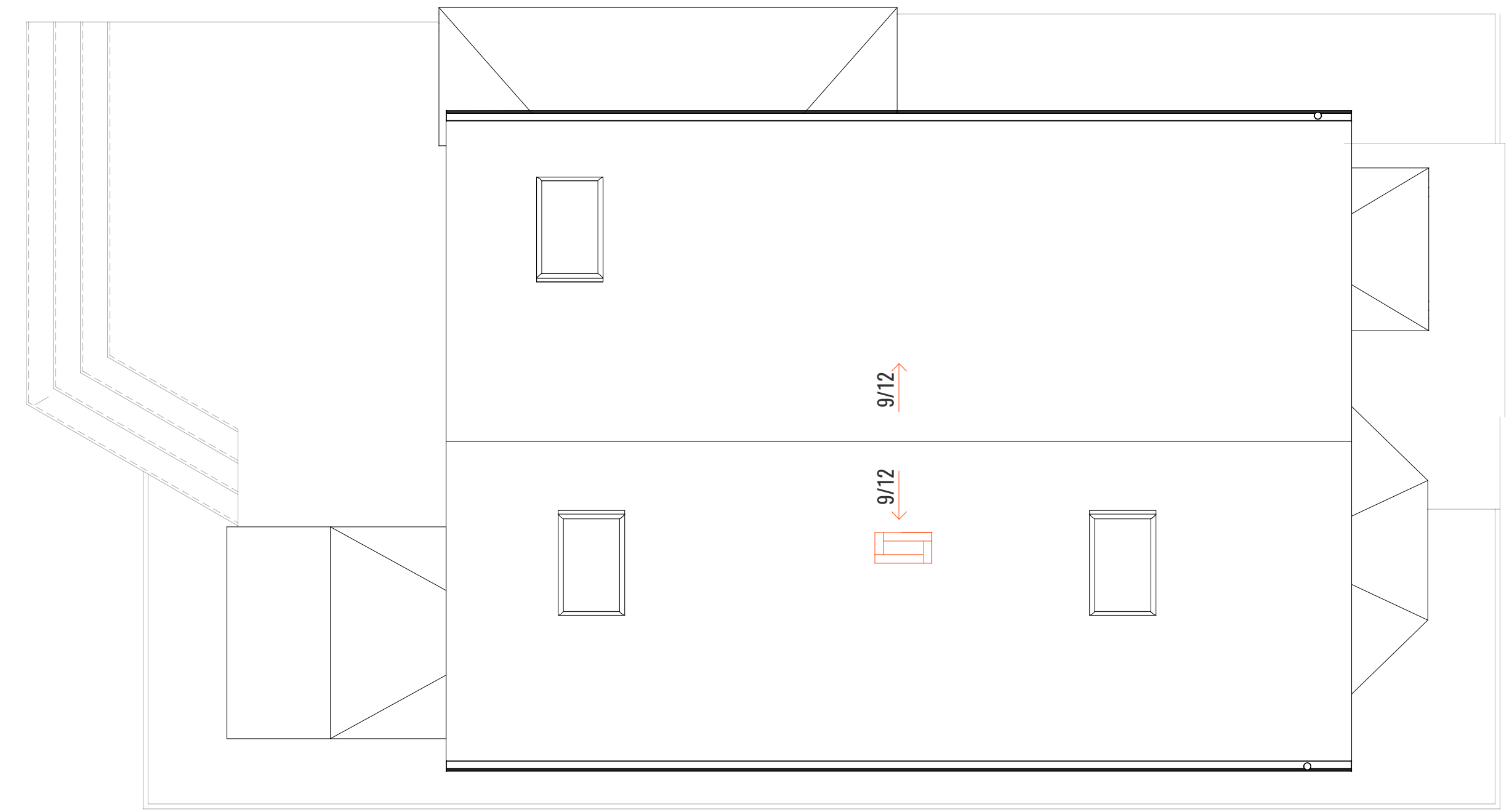
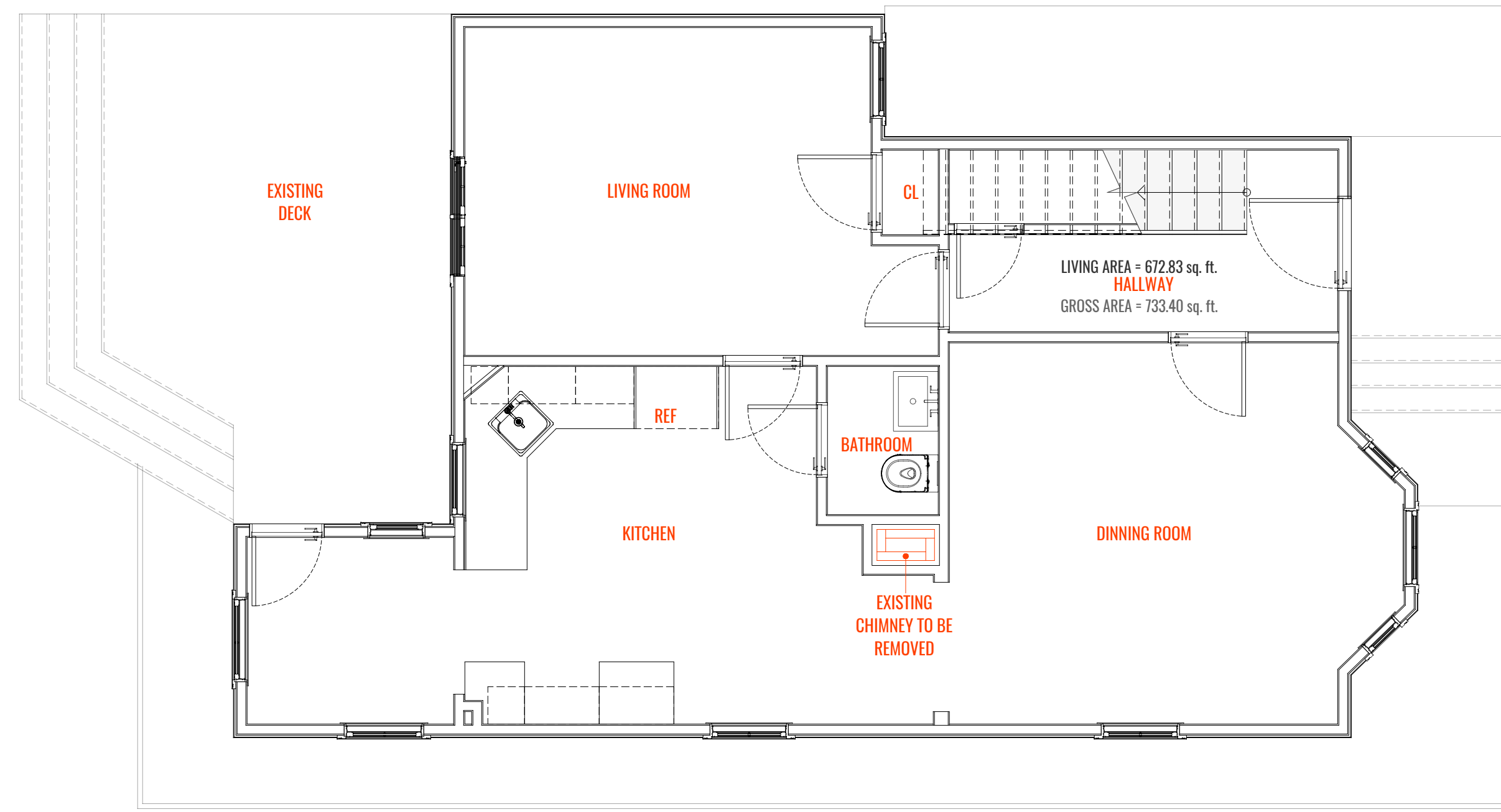
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REV. NO.	DATE
A.	N/A
B.	N/A

DRAWN NO. **RA101**
DRAWN TITLE
EXISTING CONDITIONS
FLOOR PLANS



NORTH
SCALE
1/4" = 1'-0"

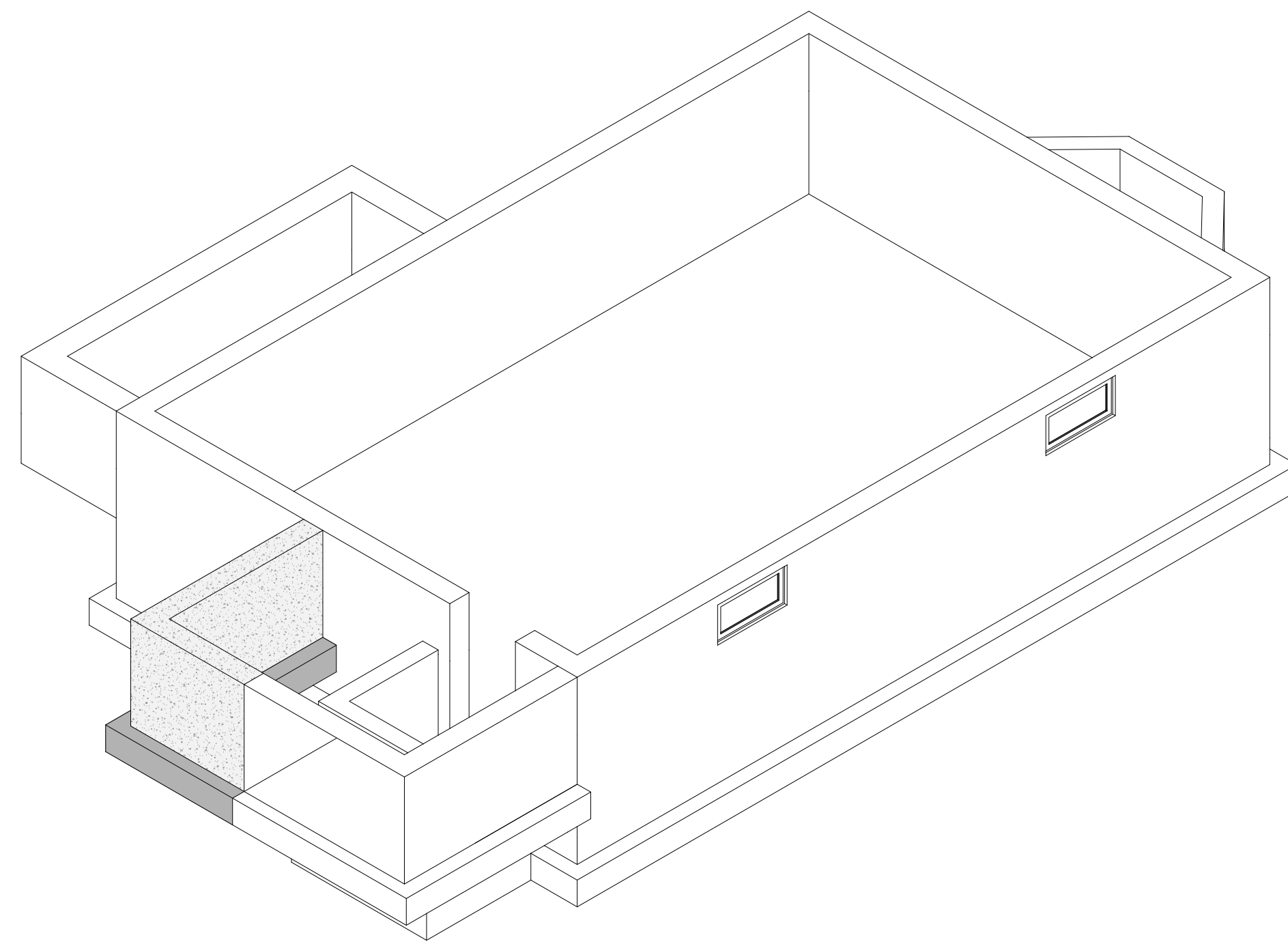
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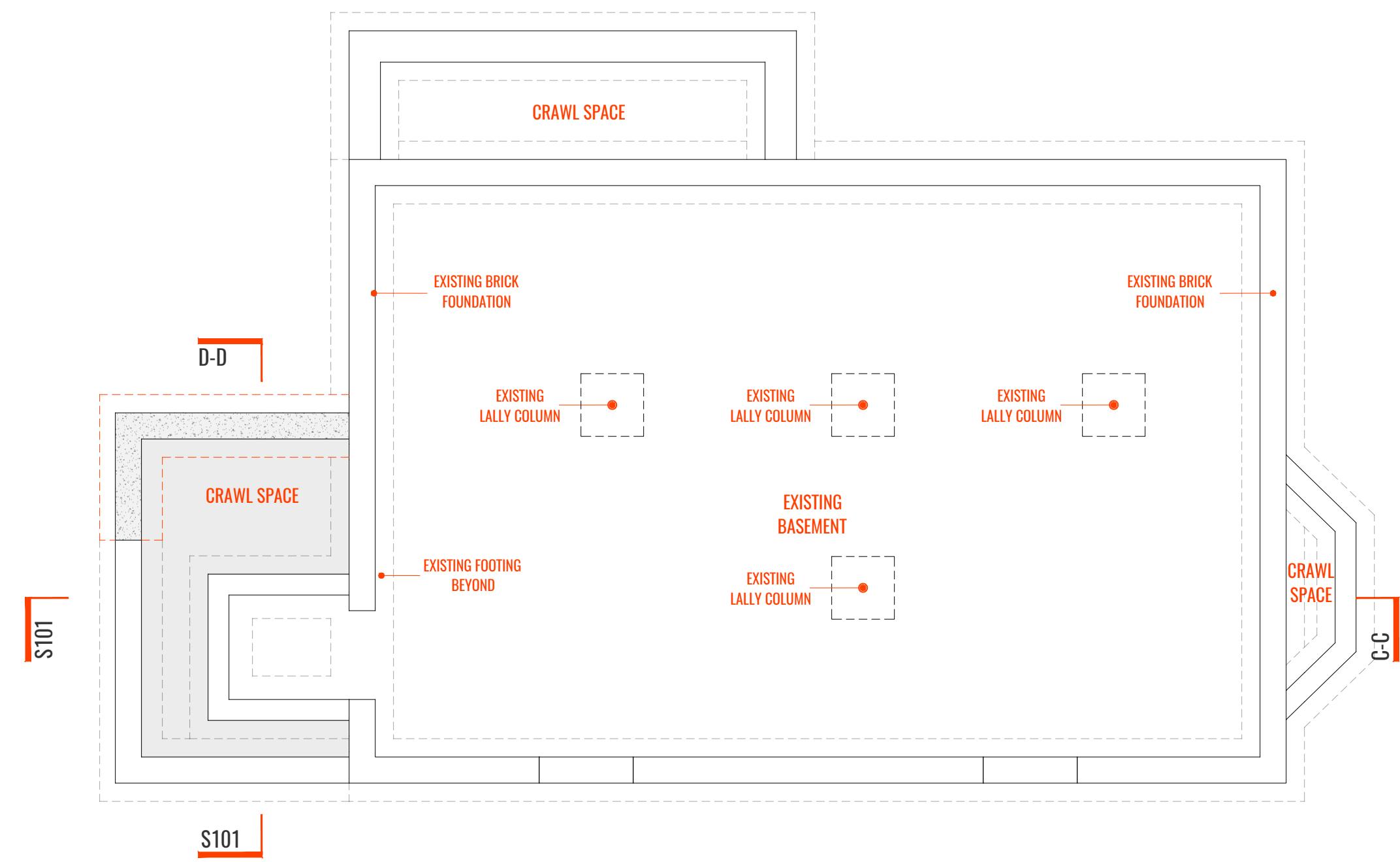
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CONCRETE NOTES

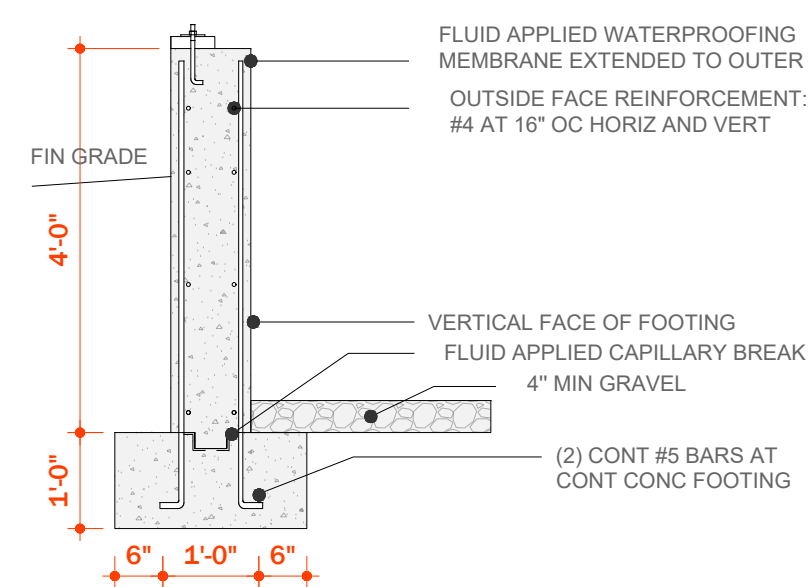
1. UNLESS OTHERWISE NOTED, ALL FOOTINGS SHALL BE CENTERED UNDER SUPPORT MEMBERS.
2. ALL FOUNDATION WALLS SHALL BE BRACED DURING OPERATIONS OF BACKFILLING AND COMPACTION. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
3. ALL FOOTINGS SHALL BE CARRIED DOWN TO UNDISTURBED MATERIAL HAVING A MINIMUM BEARING CAPACITY OF 4,000 PSF.
4. NO FOOTING SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
5. IN GENERAL, EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 4 FT. BELOW FINISHED GRADE.
6. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST ACI CODES 301 & 318. THIS SHALL INCLUDE PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.
7. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS. PORTLAND CEMENT SHALL CONFORM TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33. READY MIX CONCRETE SHALL CONFORM TO ASTM C94.
8. ALL SLABS ON GROUND SHALL BE PLACED IN PANELS NOT EXCEEDING 1,200 SF AND ON AN 12" MINIMUM THICKNESS LAYER OF 95% COMPACTED GRAVEL UNLESS OTHERWISE SHOWN ON THE PLAN(S) OR OTHERWISE DIRECTED BY THE ENGINEER.
9. ALL REINFORCING STEEL SHALL BE IN CONFORMANCE WITH ASTM A615.
10. WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185.
11. UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING MINIMUM REINFORCING COVER:
 - A. CONCRETE CAST AGAINST EARTH.....3 INCHES
 - B. FORMED CONCRETE EXPOSED TO WEATHER OR EARTH.....2 INCHES
 - C. SLABS ON GRADE (STEEL BARS).....2 INCHES
 - D. SLABS ON GRADE (WWF).....1/3 SLAB DEPTH
 - E. WALLS NOT EXPOSED TO WEATHER OR EARTH.....3/4 INCH
12. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY INDICATED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN THE CONCRETE WORK SHALL BE MADE AT MIDSPAN. HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS THROUGH VERTICAL CONSTRUCTION JOINTS.
13. PROVIDE CORNER BARS AT ALL WALL CORNERS AND INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2'-6" MINIMUM LAPS.
14. PROVIDE SAWCUT JOINTS IN ALL SLABS ON GRADE USING AN EARLY-ENTRY SAW WITHIN 4 HOURS OF PLACEMENT. PROVIDE SAWCUTS AT 10'-0" OC MAX UNO.
15. ALL CONCRETE MIX DURATION TIMES SHALL NOT EXCEED 90 MINUTES EXCEPT WHEN SHORTER DURATION TIMES ARE REQUIRED BY THE ACI FOR HOT-WEATHER CONCRETING PROCEDURES.
16. ALL CONCRETE MUST BE PLACED FROM A HEIGHT NO GREATER THAN 4'-0" ABOVE ITS FINAL POSITION.



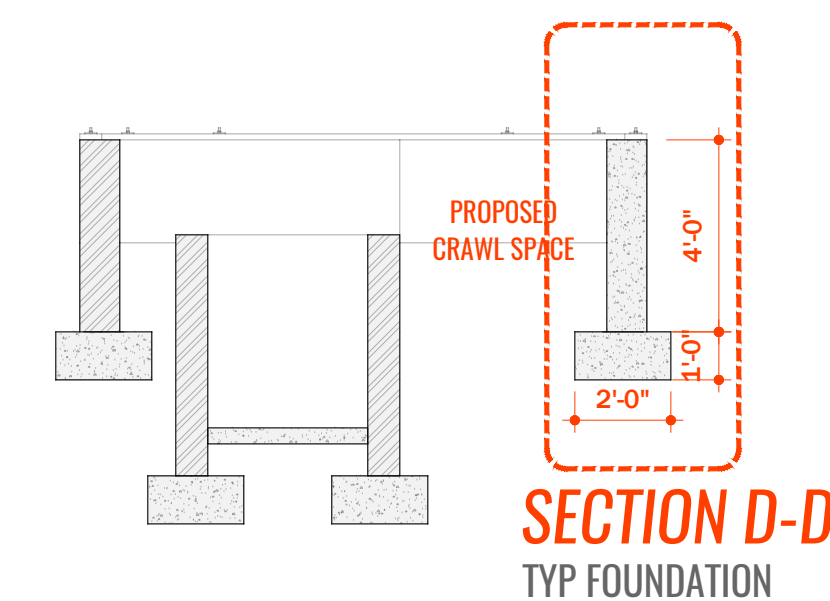
FOUNDATION STRUCTURAL DETAILS



FOUNDATION STRUCTURAL DETAILS



TYP FOUNDATION SECTION D
1/2" = 1'-0"



MDJ INC.
Engineers, Architects & Associates

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978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER
ROBB JOHNSON

PROJECT
JOHNSON'S RESIDENCE

LOCATION
20 FAIRMOUNT AVE,
CAMBRIDGE, MA 02131

VERIFIED
MDJ INC.

APPROVED
MDJ INC.

SIGNED
MARCOS DEVERS

DRAWN
MDJ INC.

ISSUED FOR
08.25.2023

ISSUED DATE
09.12.2023

NOTES

1. N/A
2. N/A
3. N/A

REV. NO.	DATE
A.	N/A
B.	N/A

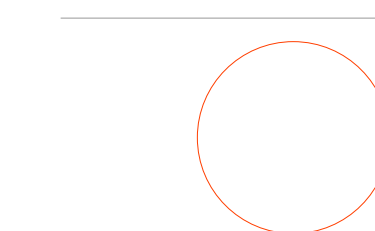
DRAWN NO.
S101

DRAWN TITLE
PROPOSED CONDITIONS
FOUNDATION PLAN

STAMP



NORTH



SCALE

1/4" = 1'-0"

0' 2' 4' 6' 8' 10'
SCALE

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NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.

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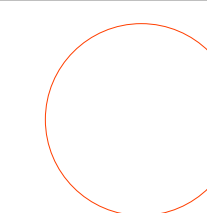
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S102

DRAWN TITLE
PROPOSED CONDITIONS
FRAMING DETAILS - 1ST FLOOR

STAMP



NORTH



SCALE
3/8" = 1'-0"

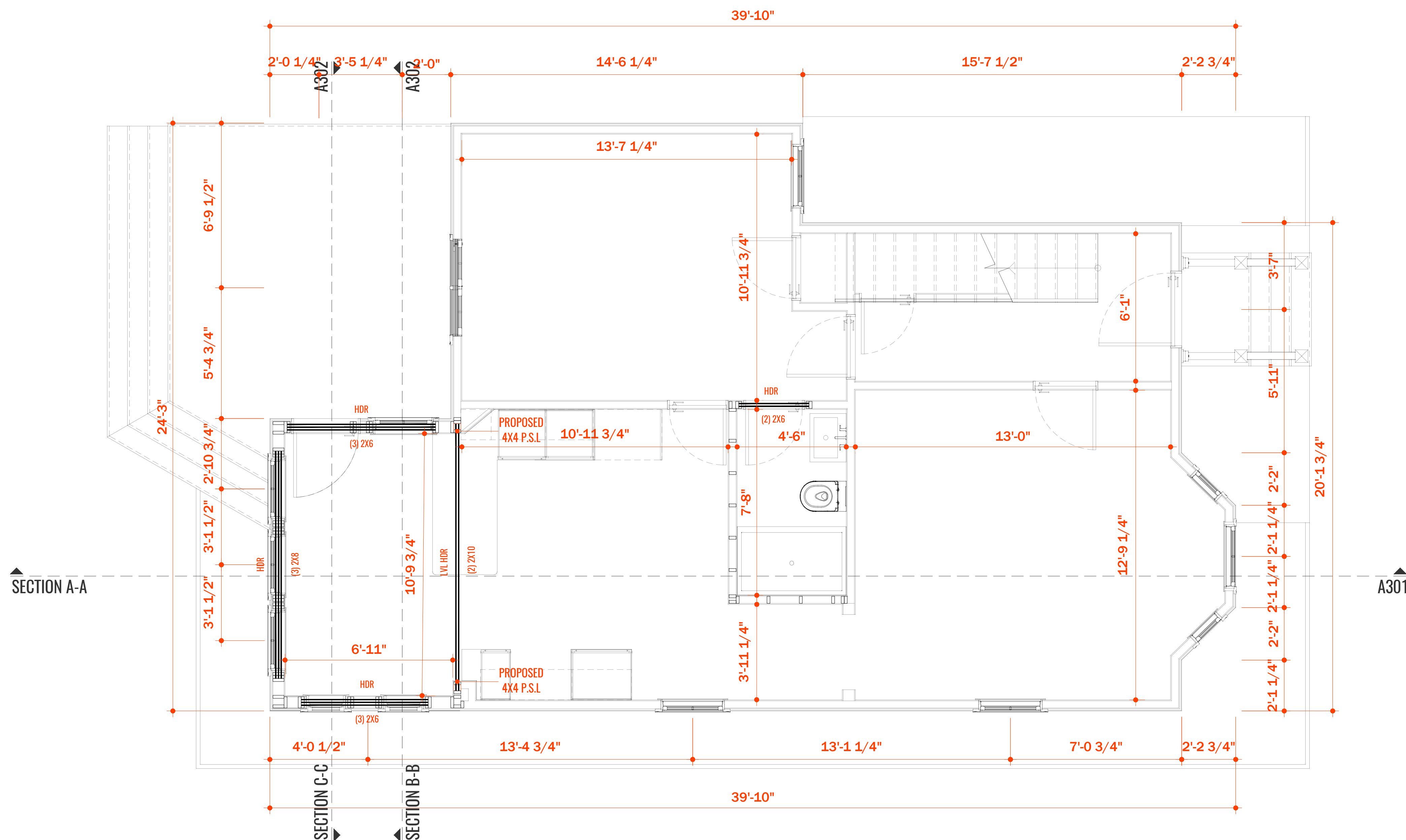
SCALE 0' 2' 4' 6' 8' 10'

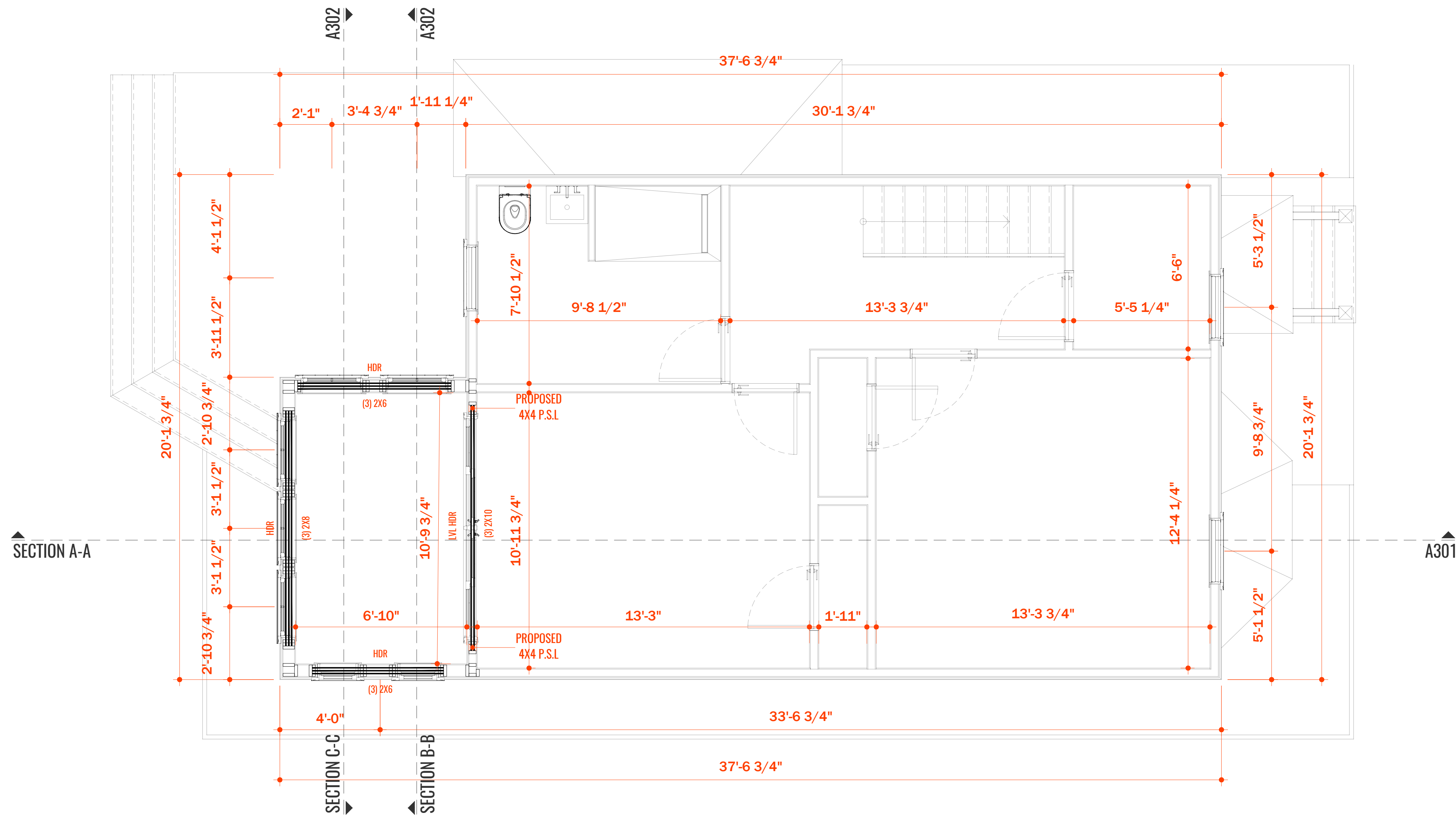
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22
26

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3. N/A

REV. NO. DATE

A. N/A

B. N/A

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S103

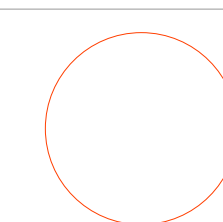
DRAWN TITLE

PROPOSED CONDITIONS
 FRAMING DETAILS - 2ND FLOOR

STAMP



NORTH



SCALE

3/8" = 1'-0"

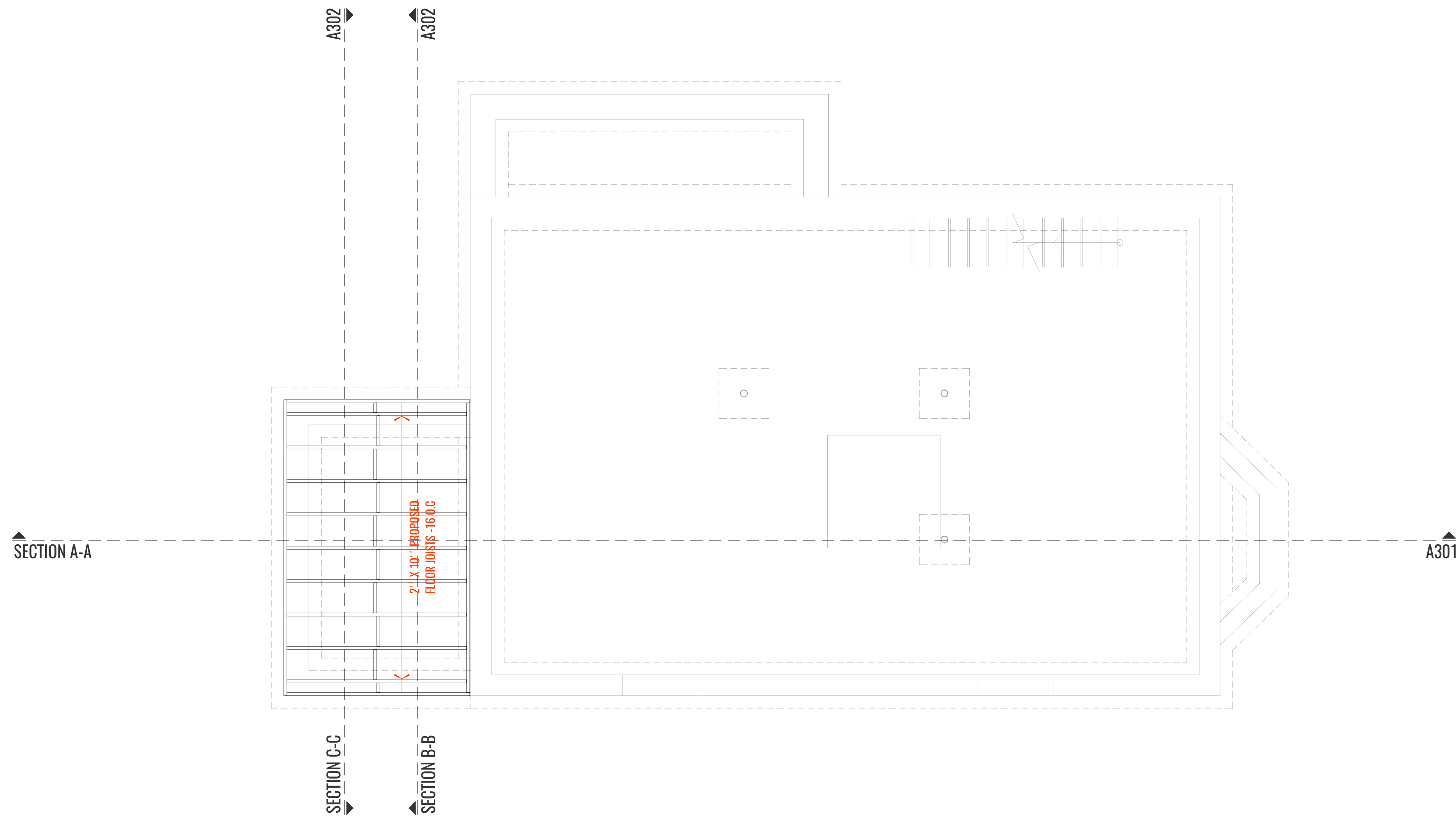


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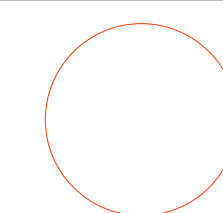
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DRAWN TITLE
 PROPOSED CONDITIONS
 FLOOR JOIST - 1ST FLOOR

STAMP



NORTH



SCALE

3/8" = 1'-0"

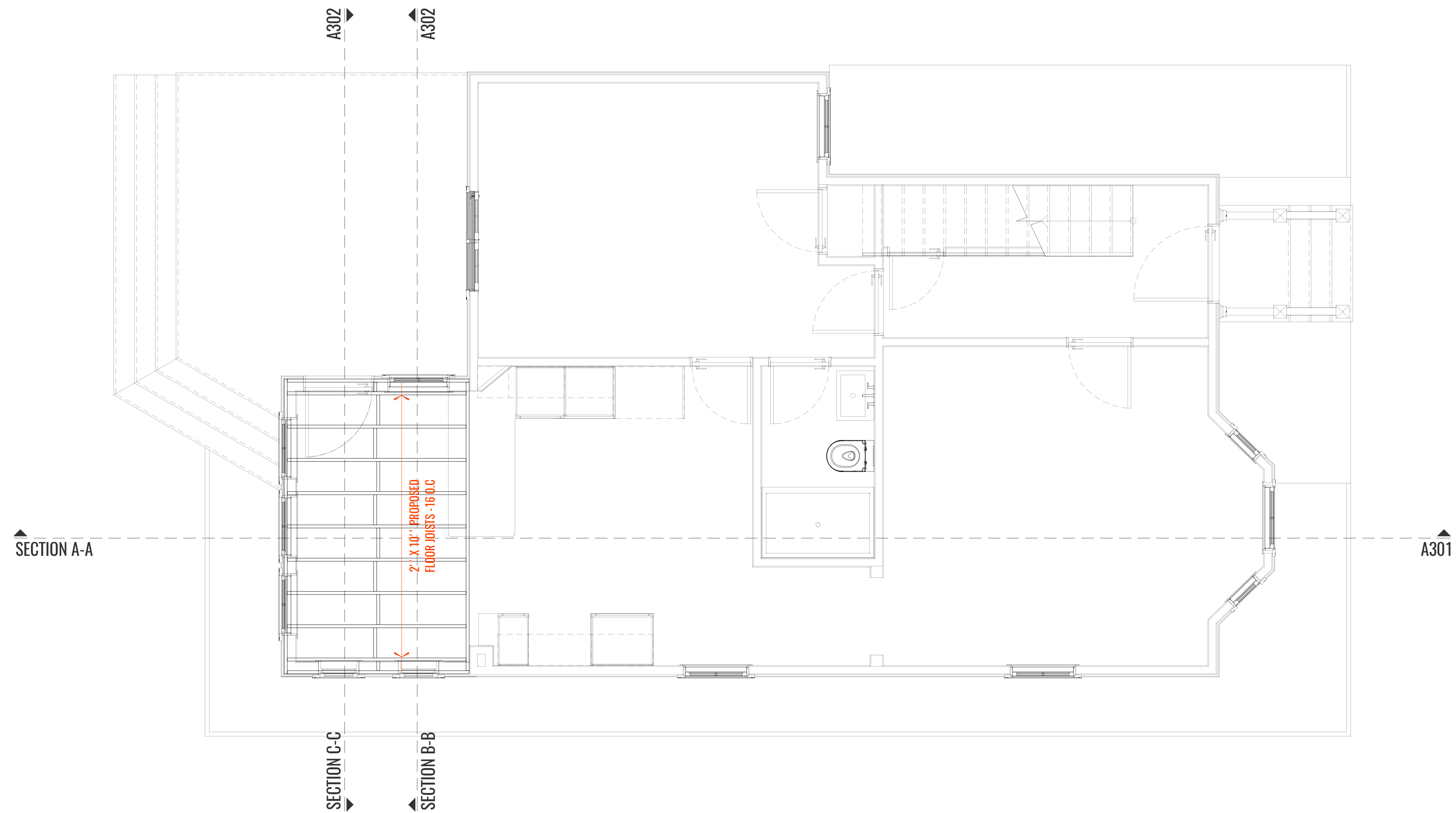


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24
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26

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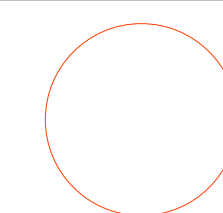
DRAWN NO.
S105

DRAWN TITLE
 PROPOSED CONDITIONS
 FLOOR JOIST - 2ND FLOOR

STAMP



NORTH



SCALE

3/8" = 1'-0"



PAGE

25
 /
26

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S106

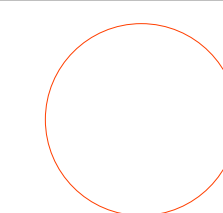
DRAWN TITLE

PROPOSED CONDITIONS
 ROOF RAFTER PLAN

STAMP



NORTH



SCALE

3/8" = 1'-0"



PAGE

26 / 26

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